

24/00079/FUL

Land To Rear Of 1-6 Smedley Crooke Place Redditch
Road Hopwood Worcestershire

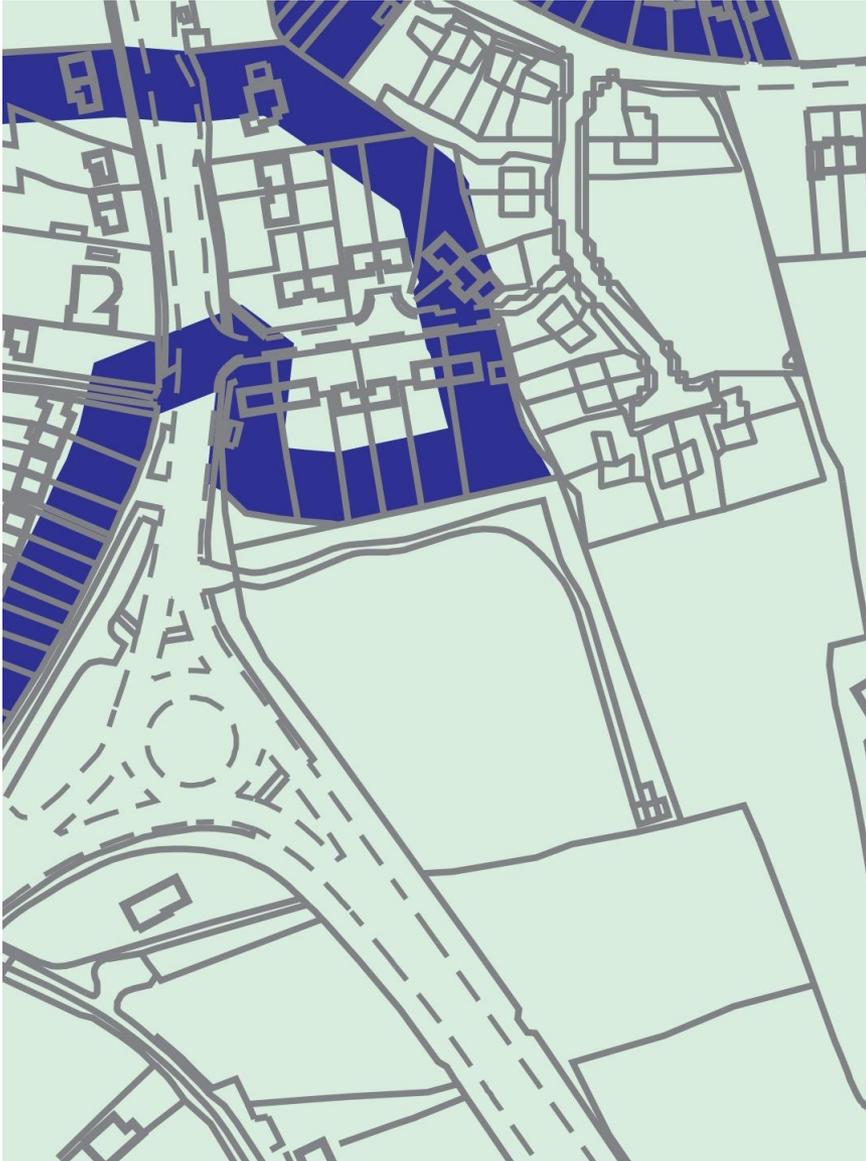
Development of 34 affordable dwellings, associated landscaping, siteworks and construction of new access from existing highway roundabout.

Recommendation: Delegate to Head of Service to GRANT planning permission subject to a legal agreement and conditions

Site Location Plan



District Plan Map



-  Village Envelopes BDP4
-  Green Belt BDP4

Satellite View



View of site from Birmingham Road



Existing Access



View of existing cross over at roundabout



View of site



Approx. Location of New Access

Proposed Layout



Site address:	Headbitch Road, Hopedale		
Client:	Camden Capital / Hopedale J02		
Site area:			
Units:	24		
Density/Units:			
Density/ha:			
Density/ha:			
Net Development:	100%		
Percentage:	12%		
Plot	Type	Form	Type
14	Single house	semi detached	Ha. 1
1	Single house	semi detached	Ha. 1
2	Single house	semi detached	Ha. 2
4	Single house	semi detached	Ha. 2
21	Single WF flat	Masswells	Ha. 3
22	Single WF flat	Masswells	Ha. 3

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TO BE REPORTED TO THE ARCHITECT.
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Proposed Mix of Dwellings



	House Type	No.
	3b5p house (Ra_1)	16
	3b5p house (Ra_1.1)	1
	2b4p house (Ra_2)	9
	2b4p house (Ra_2.1)	4
	1b2p Maisonettes	4
	Total	34

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Materials Plan



Materials Plan

-  gf Cheshire red multi brick
1f white render
-  Cheshire red multi brick
[Worcester red multi brick detailing]
-  Worcester red multi brick
[Cheshire red multi brick detailing]

Proposed Landscaping



Existing Trees and Hedge to be Retained
Trees to be retained and protected in line with BS5837:2012.

Existing Trees and Hedges to be Removed

Proposed Native Trees
Trees to be planted as 14-16cm girth, Semi-mature, 3.5-4m high. Trees to be planted with a double timber stake secured with a rubber tree tie.

Proposed Ornamental Trees
Trees to be planted as 14-16cm girth, Extra Heavy Standard, 3.5-4m high. Trees to be staked and secured with suitable rubber ties.

Proposed Small Trees
Trees to be planted as 10-12cm girth or 50L containers, 2-3m high and secured with single stake and suitable rubber ties.

Proposed Hedgerows
Evergreen hedgerows to be planted in 10L containers at a rate of 3-4 per lin. metre.

Proposed Native Hedgerows
Native hedge mix, planted at 100-120cm, bare root stock, in a double staggered row at 300mm centres, planted 3 per lin.m.

Proposed Shrub Planting
Ornamental shrub planting, to be planted in 3-4L containers at 3-4 p/m², and enhanced by feature specimens in 10-20L pots.

Proposed Native Shrub Mix
To be planted as bare root stock, 60-80cm, planted at 2/m².

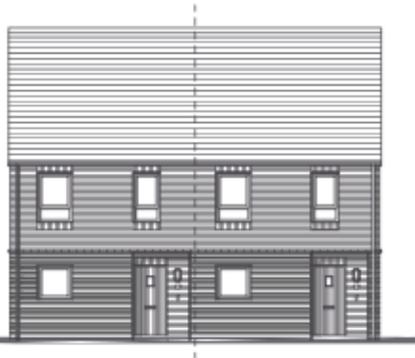
Proposed Amenity Grass
Front gardens to be turfed.
Back gardens to client specification.

Proposed Wildflower Meadow
To be Emorsgate EM2 Standard General Purpose Meadow Mix, supplied by Emorsgate or similar approved. Including 80% of ornamental grasses and 20% of wildflowers. Sowing rate 4g/m².

Proposed Attenuation Basin Planted with Meadow Grass Mixture for Wet Soils
EM8F - Meadow Mixture for Wetlands as supplied by Emorsgate or similar approved. Including 80% of ornamental grasses and 20% of flowering perennials. Sowing rate 4g/m².

Proposed House Types

3b5p house (Ra_1)



Front Elevation



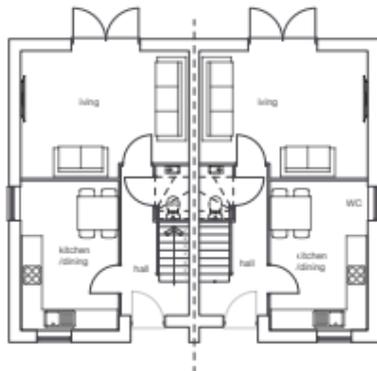
Side Elevation



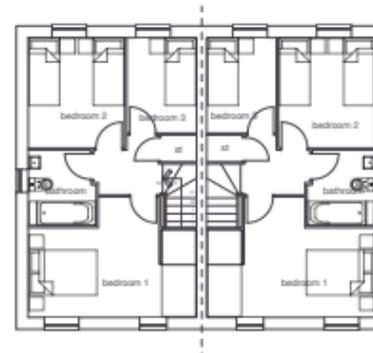
Rear Elevation



Side Elevation



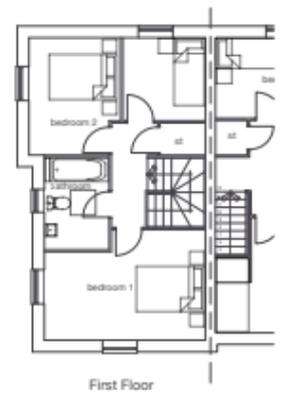
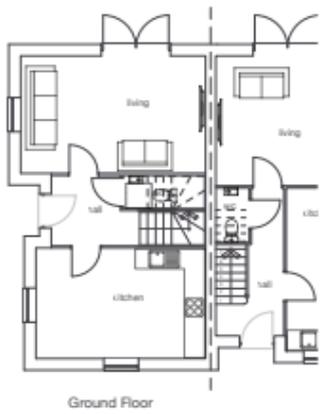
Proposed Ground Floor



Proposed First Floor

MATERIALS:
refer to drawing 006 for material palette
concreting brick detailing
brick soldier sills and lintels
white upvc windows
imitation slate grey roof tiles

3b5p house (Ra_1.1)



Materials:
refer to drawing 006 for material palette
Projecting brick course feature
Contrasting brick detailing
Black solder lintels
White uPVC windows
Insulation state grey roof tiles

2b4p house (Ra_2)



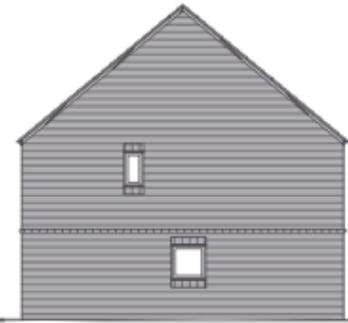
Front Elevation



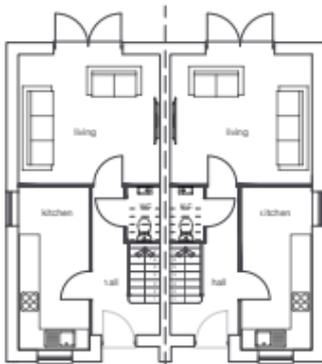
Side Elevation



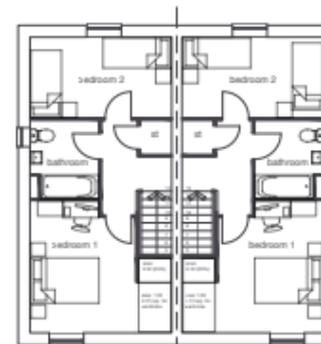
Rear Elevation



Side Elevation



Proposed Ground Floor



Proposed First Floor

Materials:
refer to drawing 006 for material palette
Projecting brick course feature
Contrasting brick detailing
Brick soldier lintels
White uPVC windows
Imitation slate grey roof tiles

2b4p house (Ra_2.1)



Front Elevation



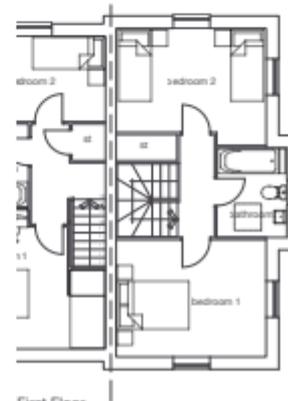
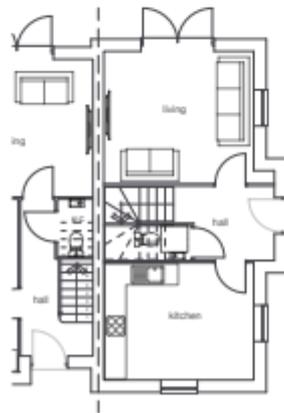
Side Elevation



Rear Elevation



Side Elevation



Materials:
refer to material drawing 006 for material palette
Projecting brick course feature
Contrasting brick detailing
Brick soldier bricks
White uPVC windows
Imitation slate grey roof tiles

1b2p Maisonettes (Ra_3&3.1)

Materials:
 refer to drawing 006 for material palette
 Projecting brick course feature
 Contrasting brick course detailing
 Brick soldier bricks
 White uPVC windows
 imitation slate grey roof tiles



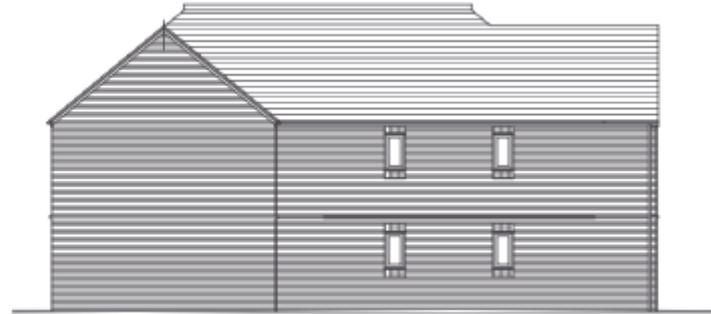
Front Elevation



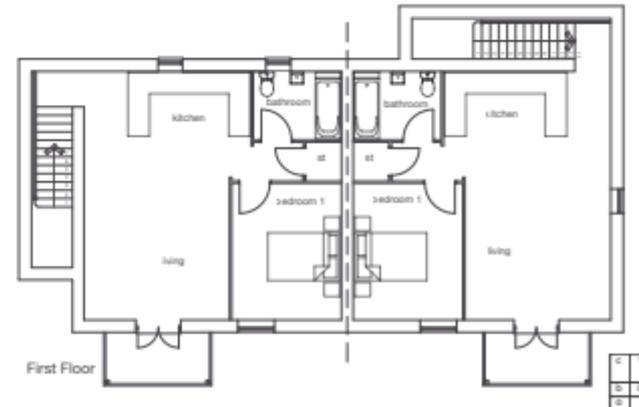
Side Elevation



Side Elevation



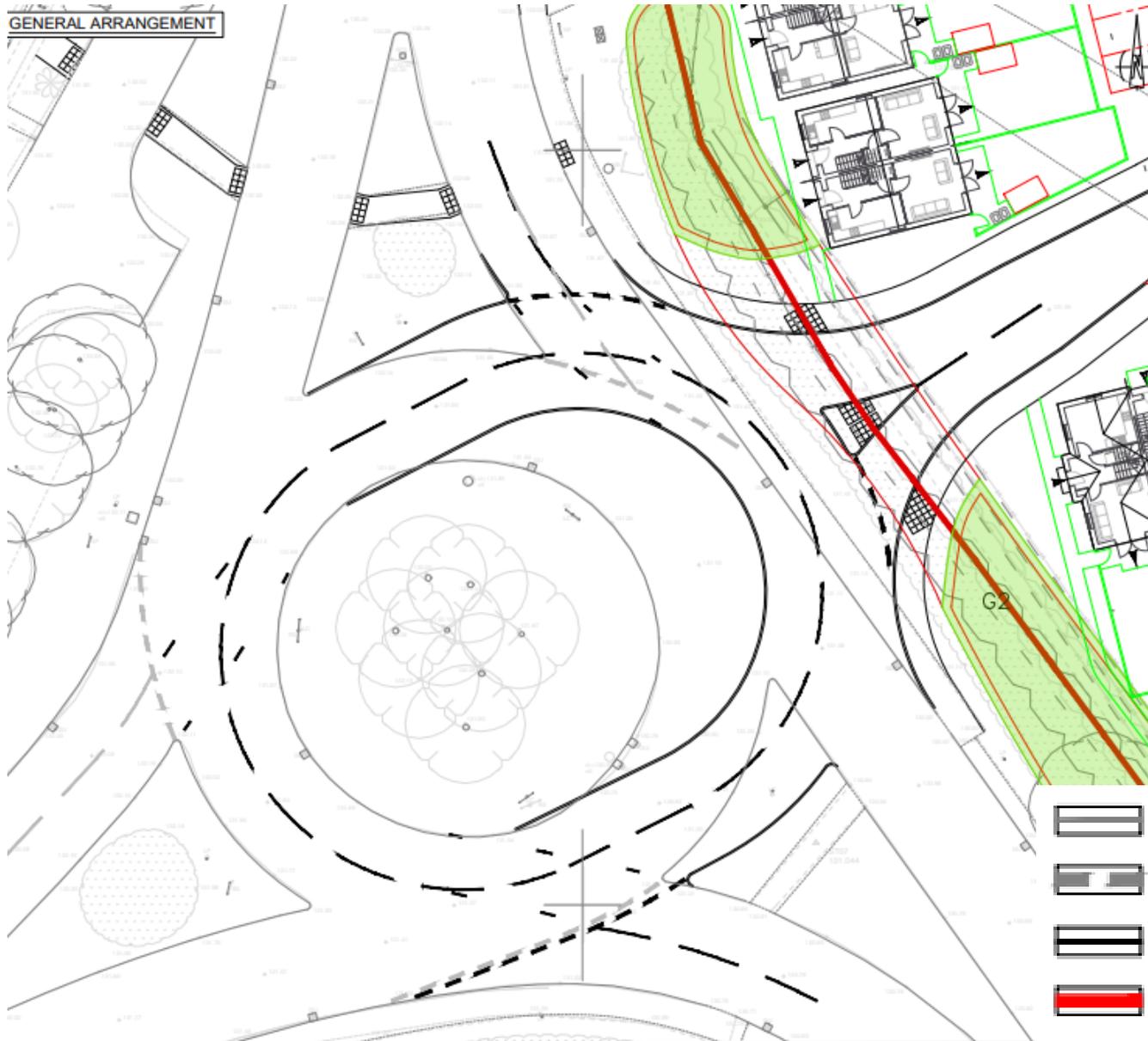
Rear Elevation



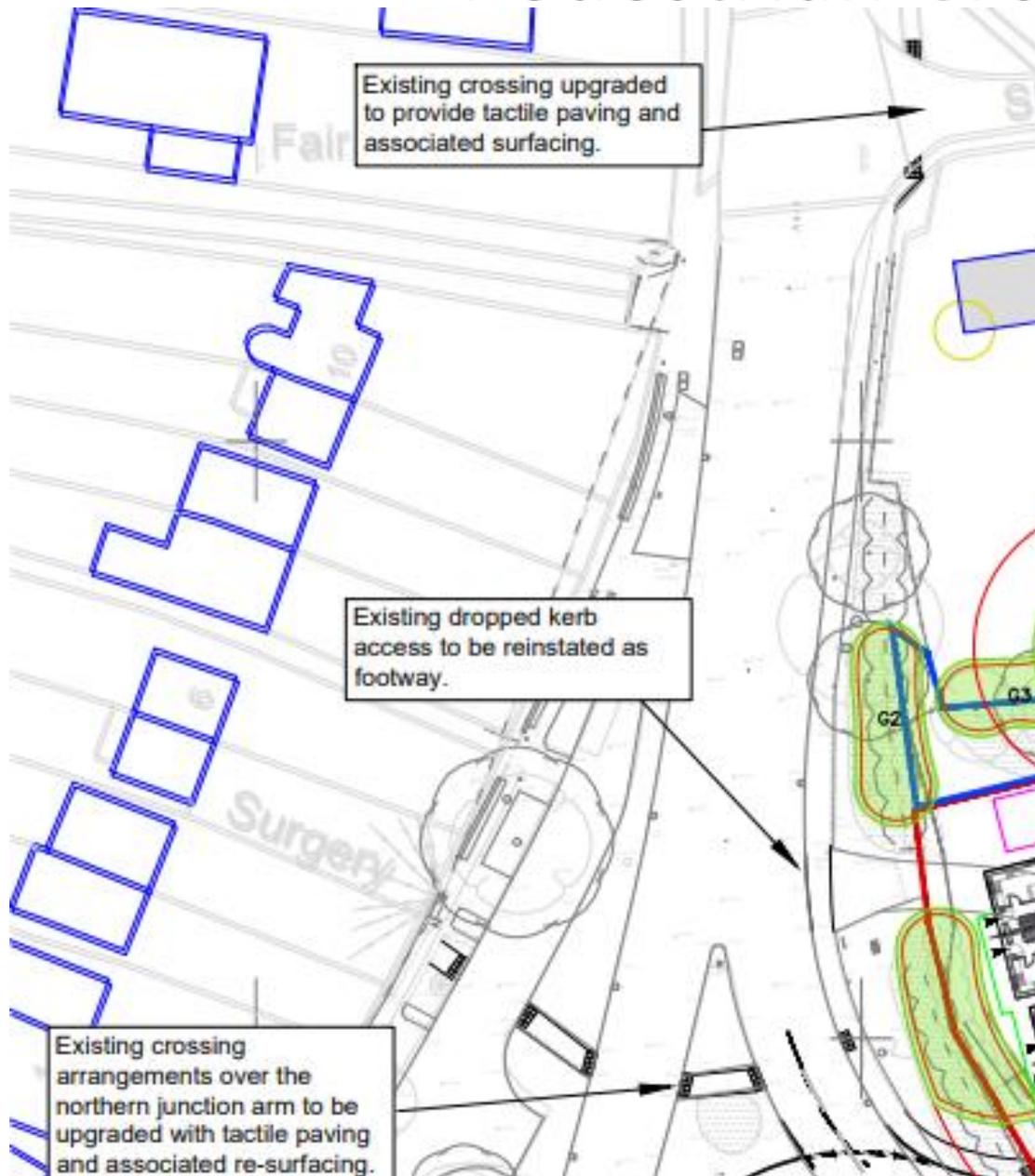
First Floor

Proposed Access

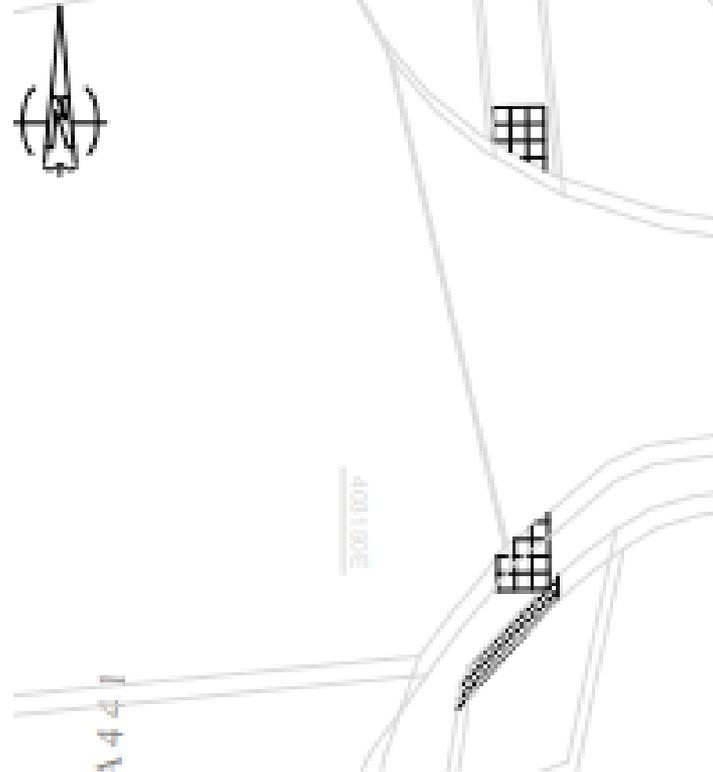
GENERAL ARRANGEMENT



Pedestrian Crossings

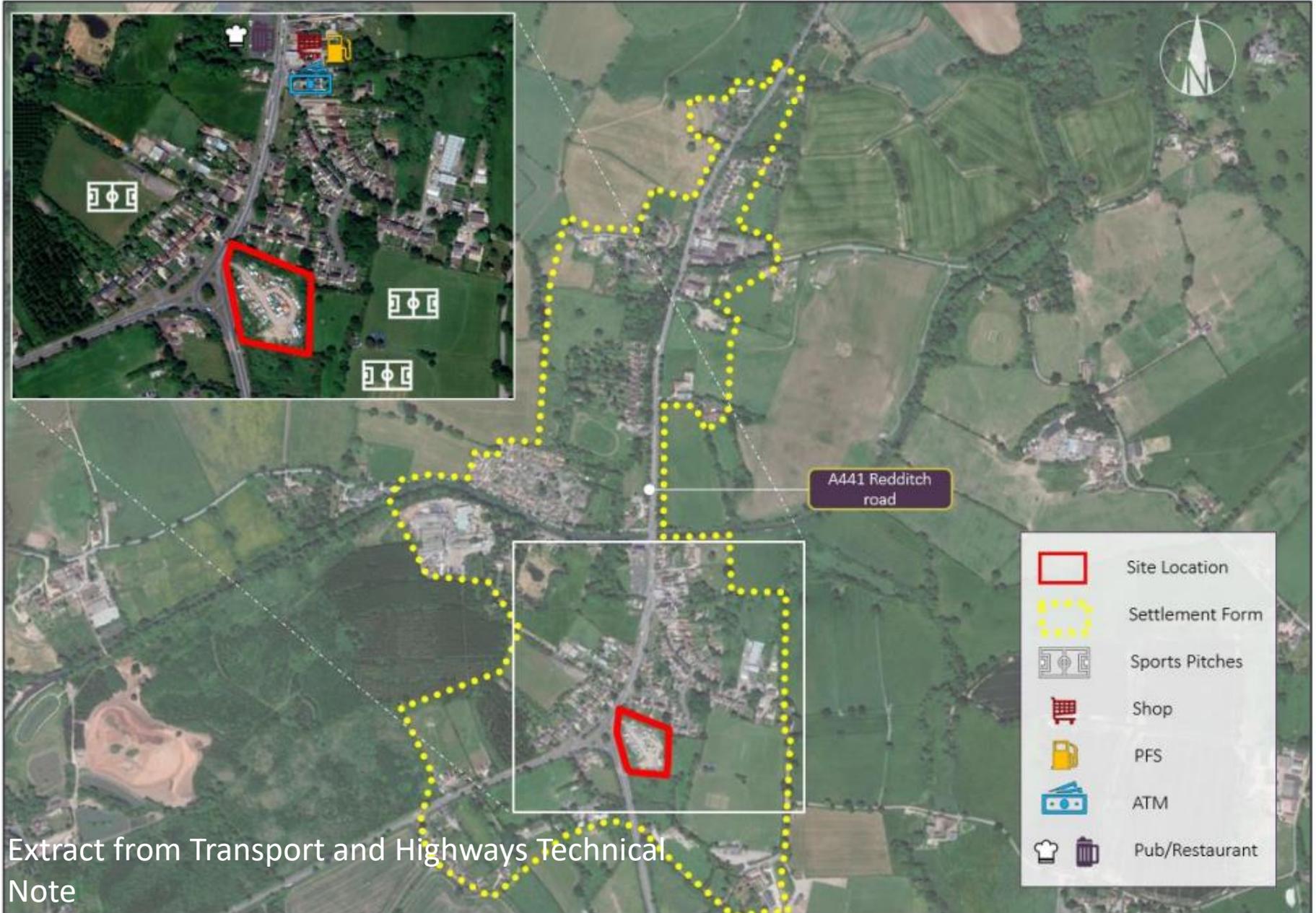


Proposed Smedley Crook Place Crossing



-  Topographical Survey
-  Existing Road Markings
-  Proposed Design
-  Red Line Boundary
-  Visibility Splays

Sustainability



Extract from Transport and Highways Technical Note