

# Public Document Pack



## **BROMSGROVE DISTRICT COUNCIL**

### **MEETING OF THE PLANNING COMMITTEE**

TUESDAY 1ST APRIL 2025  
AT 6.00 P.M.

PARKSIDE SUITE, PARKSIDE, MARKET STREET, BROMSGROVE,  
WORCESTERSHIRE, B61 8DA

MEMBERS: Councillors H. J. Jones (Chairman), M. Marshall (Vice-Chairman),  
A. Bailes, S. J. Baxter, J. Clarke, S. M. Evans, D. J. A. Forsythe,  
E. M. S. Gray, R. E. Lambert, B. McEldowney and J. D. Stanley

### **AGENDA**

1. To receive apologies for absence and notification of substitutes
2. Declarations of Interest  
  
To invite Councillors to declare any Disclosable Pecuniary Interests or Other Disclosable Interests they may have in items on the agenda, and to confirm the nature of those interests.
3. Updates to planning applications reported at the meeting (to be circulated prior to the start of the meeting)
4. 22/00571/FUL - Proposed extension comprising additional retail floor space and reconfigured warehouse and welfare block layout. Aldi, Sherwood Road, Bromsgrove, Worcestershire, B60 3AR- co/ Agent (Pages 7 - 26)
5. 24/00117/S73 - Variation of condition 25 of planning permission APP/P1805/W/20/3245111 allowed on appeal 09/02/2021 (LPA 16/1132):  
FROM: No part of the development shall be occupied until the junction of Fox Lane/ Rock Hill has been altered in accordance with the scheme for a roundabout shown on the plan Fox Lane/ Rock Hill schematic ref 7033-SK-

005 revision F. AMEND TO: No more than 49 dwellings shall be occupied until the junction of Fox Lane/Rock Hill has been altered in accordance with the scheme for a roundabout shown on the plan Fox Lane/Rock Hill schematic scheme ref 7033-SK-005 revision G and ancillary drawings 7033-s278-701 rev C02, 2015804 AGE-ZZ-XX-DR-X-0002, 0003, 0004, 0005, 0006 REV C02. Land at Whitford Road, Bromsgrove. Bellway Homes (Pages 27 - 58)

6. 24/00887/S73 - Removal of condition 8 attached to 09/0729. Aldi, Sherwood Road, Bromsgrove, Worcestershire, B60 3AR. Aldi Store Ltd (Pages 59 - 64)
7. 25/00126/FUL - Proposed stand to cover existing terrace. Victoria Ground, Birmingham Road, Bromsgrove, Worcestershire, B61 0DR. Mr. R. McLaren (Pages 65 - 74)
8. To consider any urgent business, details of which have been notified to the Assistant Director, Legal, Democratic and Property Services prior to the commencement of the meeting and which the Chairman, by reason of special circumstances, considers to be of so urgent a nature that it cannot wait until the next meeting.

SUE HANLEY  
Chief Executive

Parkside  
Market Street  
BROMSGROVE  
Worcestershire  
B61 8DA

21st March 2025

If you have any queries on this Agenda please contact  
Pauline Ross  
Democratic Services Officer

Parkside, Market Street, Bromsgrove, B61 8DA  
Tel: 01527 881406  
Email: [p.ross@bromsgroveandredditch.gov.uk](mailto:p.ross@bromsgroveandredditch.gov.uk)

If you have any questions regarding the agenda or attached papers, please do not hesitate to contact the officer named above.

Please note that this is a public meeting and will be live streamed for general access via the Council's YouTube channel.

You are able to see and hear the livestream of the meeting from the Committee Pages of the website, alongside the agenda for the meeting.

### **PUBLIC SPEAKING**

The usual process for public speaking at meetings of the Planning Committee will continue to be followed subject to some adjustments. For further details a copy of the amended Planning Committee Procedure Rules can be found on the Council's website.

The process approved by the Council for public speaking at meetings of the Planning Committee is (subject to the discretion and control of the Chair), as summarised below:-

- 1) Introduction of application by Chair
- 2) Officer presentation of the report
- 3) Public Speaking - in the following order: -
  - a. objector (or agent/spokesperson on behalf of objectors);
  - b. applicant, or their agent (or supporter);
  - c. Parish Council representative (if applicable);
  - d. Ward Councillor

Each party will have up to a maximum of 3 minutes to speak, subject to the discretion of the Chair.

Speakers will be called in the order they have notified their interest in speaking to the Democratic Services Officer and will be invited to unmute their microphone and address the Committee face-to-face or via Microsoft Teams.

- 4) Members' questions to the Officers and formal debate / determination.

**Notes:**

- 1) Anyone wishing to address the Planning Committee on applications on this agenda must notify the Democratic Services Officer on 01527 881406 or by email to [p.ross@bromsgroveandredditch.gov.uk](mailto:p.ross@bromsgroveandredditch.gov.uk) by 12 noon on Friday 28<sup>th</sup> March 2025.**
- 2) Advice and assistance will be provided to public speakers as to how to access the meeting and those registered to speak will be invited to participate face-to-face or via a Microsoft Teams invitation.**

**Provision has been made in the amended Planning Committee procedure rules for public speakers who cannot access the meeting via Microsoft Teams, and those speakers will be given the opportunity to submit their speech in writing to be read out by an officer at the meeting.**

**Please take care when preparing written comments to ensure that the reading time will not exceed three minutes. Any speakers wishing to submit written comments must do so by 12 noon on Friday 28<sup>th</sup> March 2025.**

- 3) Reports on all applications will include a summary of the responses received from consultees and third parties, an appraisal of the main planning issues, the case officer's presentation and a recommendation. All submitted plans and documentation for each application, including consultee responses and third party representations, are available to view in full via the Public Access facility on the Council's website [www.bromsgrove.gov.uk](http://www.bromsgrove.gov.uk)**
- 4) It should be noted that, in coming to its decision, the Committee can only take into account planning issues, namely policies contained in the Bromsgrove District Plan (the Development Plan) and other material considerations, which include Government Guidance and other relevant policies published since the adoption of the Development Plan and the "environmental factors" (in the broad sense) which affect the site.**
- 5) Although this is a public meeting, there are circumstances when the Committee might have to move into closed session to consider exempt or confidential information. For agenda items that are exempt, the public are excluded, and the live stream will be suspended and that part of the meeting will not be recorded.**



## **INFORMATION FOR THE PUBLIC**

### **Access to Information**

The Local Government (Access to Information) Act 1985 widened the rights of press and public to attend Local Authority meetings and to see certain documents. Recently the Freedom of Information Act 2000 has further broadened these rights, and limited exemptions under the 1985 Act.

- You can inspect agenda and public reports at least five days before the date of the meeting.
- You can inspect minutes of the Council, Cabinet and its Committees/Boards for up to six years following a meeting.
- You can have access, upon request, to the background papers on which reports are based for a period of up to six years from the date of the meeting. These are listed at the end of each report.
- An electronic register stating the names and addresses and electoral areas of all Councillors with details of the membership of all Committees etc. is available on our website.
- A reasonable number of copies of agendas and reports relating to items to be considered in public will be made available to the public attending meetings of the Council, Cabinet and its Committees/Boards.
- You have access to a list specifying those powers which the Council has delegated to its Officers indicating also the titles of the Officers concerned, as detailed in the Council's Constitution, Scheme of Delegation.

You can access the following documents:

- Meeting Agendas
- Meeting Minutes
- The Council's Constitution

at [www.bromsgrove.gov.uk](http://www.bromsgrove.gov.uk)

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Name of Applicant	Proposal	Expiry Date	Plan Ref.
c/o agent	Proposed extension comprising additional retail floor space and reconfigured warehouse and welfare block layout.  Aldi, Sherwood Road, Bromsgrove, Worcestershire, B60 3AR		22/00571/FUL

## **RECOMMENDATION:**

(1) Minded to **APPROVE FULL PLANNING PERMISSION**

(2) That **DELEGATED POWERS** be granted to the Assistant Director for Planning, Leisure and Cultural Services to determine the full planning application:

(a) Following the expiry of the consultation period on 8 April 2025 and in the event that representations are received, that **DELEGATED POWERS** be granted to the Assistant Director for Planning, Leisure and Cultural Services, in consultation with the Chairman of the Planning Committee, to assess whether new material considerations have been raised, and to issue a decision after the expiry of the statutory publicity period accordingly.

(b) To agree the final scope and detailed wording and numbering of conditions as set out at the end of this report.

## **Consultations**

### **Worcestershire Highways - Bromsgrove**

- Initial concerns raised related to the replacement of tree planting and how they could impact on general visibility. However, generally no objections to the scheme.

### **Arboricultural Officer**

- Proposal involves the removal of trees and will require the protection of other trees during development.
- The revised landscape plan is acceptable and the altered position of the Birch trees should avoid any conflict with the A38 civils work and allow their sustainability.

### **WRS - Contaminated Land**

- Recommend conditions to address any unknown contaminated land issues

### **WRS - Noise**

- No objection to the application in terms of noise nuisance.

### **North Worcestershire Water Management**

- No objection.
- The site falls within flood zone 1 but lies adjacent to flood zones 2 & 3 of the Sugar Brook.

- The proposal results in an increase in impermeable area which will increase runoff from the site, however, note the flood risk assessment proposes to introduce attenuation and a reduction in discharge rates from the site resulting in an overall betterment in terms of flood risk in the local area.

## **Publicity**

13 neighbour letters sent on 26 July 2022 (expire 19 August 2022)

Site notice displayed 28 July 2022 (expires 21 August 2022)

Press notice published 21 March 2025 (expires 8 April 2025)

1 letter of comment supporting proposal.

## **Site Description**

The application site relates to an existing supermarket on the former BGW Business Park at the western end of the Aston Fields Industrial Estate. The site is located to the east of the roundabout junction of the A38 (Stoke Road/Bromsgrove Eastern Bypass), Austin Road and Buntsford Park Road. A large WM Morrisons supermarket is located to the south-west, on the opposite side of Buntsford Park Road, and the Charford residential area lies to the north west of the A38. The site is immediately bounded to the east by the Sugar Brook, with industrial buildings beyond.

## **Proposal Description**

Permission is sought to build an extension fronting the A38. The extension measuring approximately 353 sqm would comprise of relocated staff and meeting room facilities, manager's office, plant room, and a larger warehousing area. Relocating these facilities into the proposed extension would enable an increase in retail floorspace from 990 sqm to 1315 sqm.

The extension will be single storey and comprise of a flat roof and be finished in render with brickwork on the west elevation to add interest. The expanse of brickwork will be broken up with the provision of windows of a similar design to those already on the west elevation. External plant will be provided on the roof due to the refrigeration units proposed in the extension, however, anthracite grey cladding is proposed to be erected at roof level to assist screening the plant equipment.

Three trees will need to be removed to enable the development, however, six trees are proposed in replacement.

## **Relevant Policies**

### **Bromsgrove District Plan**

BDP1 Sustainable Development Principles

BDP13 New Employment Development

BDP14 Designated Employment

BDP19 High Quality Design

BDP21 Natural Environment

BDP23 Water Management

BDP24 Green Infrastructure



## Others

Bromsgrove High Quality Design SPD  
 National Planning Policy Framework (2024)  
 National Planning Practice Guidance  
 National Design Guide

## Relevant Planning History

24/00887/S73	Removal of condition 8 attached to 09/0729	Pending	
16/0687	Variation of condition 5 of application 09/0729 to: "The retail store hereby permitted shall not be open to customers outside the following hours: 08:00-22:00 Monday to Saturday, and 10:00-16:00 on Sundays"	Approved	06.10.2016
13/0769	Variation of Condition 5 attached to 09/0729 to: The retail store hereby permitted shall not be open to customers outside the following hours: 08.00 - 22.00 Monday - Saturday and 10.00 - 16.00 Sundays and Bank Holidays	Approved	19.12.2013
12/0253	Variation of Condition 5 attached to 09/0729 to allow store to open until 21.00 hours Monday to Saturday	Approved	01.06.2012
09/0729	Demolition of existing industrial building and erection of new single storey class A1, food retail store incorporating car-parking and landscaping.	Approved	27.04.2010

## Assessment of Proposal

The site is located within an area designated for employment purposes as indicated in the Bromsgrove District Plan. Policies BDP13 and BDP14 of the District Plan would apply due to the designation of the site. Policy BDP13 seeks to maintain a balanced portfolio of employment opportunities within the district, whilst BDP14 safeguards designated employment areas.

BDP14.4 sets out the following criteria for proposals that would result in the loss of employment uses:

- i) The proposal would not have an adverse impact upon the quality and quantity of employment land within the local area; and
- ii) There would be a net improvement in amenity (e.g. 'non conforming' uses close to residential areas); and
- iii) The site has been actively marketed for employment uses for a minimum period of 12 months, providing full and detailed evidence or where an informed assessment

has been made as to the sustainability of the site and/or premises to contribute to the employment land portfolio within the District (as part of this assessment, consideration should be given to the appropriateness for subdivision of premises);  
or

- iv) The new use would result in a significant improvement to the environment, to access and highway arrangements, or sustainable travel patterns which outweighs the loss of employment land; and
- v) The site/premises are not viable for an employment use or mixed use that includes an appropriate level of employment. A development appraisal should accompany proposals to clearly demonstrate why redevelopment for employment purposes is not commercially viable.

At the time of considering the original provision of an Aldi Store on this site under planning reference 09/0729 the proposal was considered under similar employment policies of the Development Plan (now superseded). Whilst there was a concern regarding the loss of employment land for a retail use, it was considered that the loss of the site to a non-industrial land use would not prejudice the District's employment targets and would not significantly harm the Council's duty to maintain a portfolio of suitable employment sites.

In addition, supporting documentation submitted for 09/0729 application demonstrated that the provision of a retail store in this location would not have a significant impact on any retail centre and there would be no significant impact on the vitality and viability of Bromsgrove Town Centre.

This proposal is a relatively small extension to a retail store and as such it is considered that the increase in retail floorspace for the store is unlikely to harm the vitality and viability of Bromsgrove Town Centre and existing retail centres within the District. However, the criteria requirements of Policy BDP14.4 would still apply to the extension.

It is considered that the proposal would not conflict with Policy BDP14.4 for the following reasons:

- i) The development is proposed within the confines of the retail site and does not impinge on any additional employment land within the local area.
- ii) The extension would not conflict with amenities of neighbouring occupiers.
- iii) The retail use has already been established by the original permission.
- iv) No significant improvements are required for the scale of the proposed extension, although replacement tree planting is proposed for the scheme.
- v) The site where the extension is proposed is not viable for any potential employment use given its linear location, and its proximity to the existing retail store and the A38.

## **Design and Appearance**

The design of the extension picks up on design details featured on the existing building and would comply with Policy BDP19 of the District Plan.

The main elevation of the proposed extension (west elevation) will comprise of brickwork and similar design windows to that on the current west elevation. The external plant will be moved from ground level to the roof of this extension. Whilst there is a potential for this aspect of the extension to be highly visible, the plant equipment will be camouflaged

with grey cladding and the existing tree planting that currently exists on the green space between the store and the A38.

In addition, six new trees are also proposed to be planted on the remaining green space that will further enhance the natural landscaping and screen the west elevation of the extension.

## **Highway Matters**

Initial correspondence from County Highways referred to the potential position of replacement tree planting and that the positioning of the replacement trees could have an impact on visibility as a result of the A38 BREP improvements.

The replacement tree planting has been repositioned to ensure that it does not conflict with the A38 BREP improvements.

## **Tree Matters**

Due to the location of the proposed extension, three trees will need to be removed. The Tree Officer has no objections to the trees being removed but recommends that replacement trees be planted in locations that would not hinder their sustainability, such as outside visibility splays etc. The latest landscaping scheme shows the provision of six trees which the Tree Officer considers acceptable.

## **Contamination**

Due to the industrial history of the site, and the proximity to both an area of unknown infill and a former landfill site, Worcester Regulatory Services (WRS) recommend a condition to ensure previously contaminated land issues on site are appropriately addressed. WRS acknowledge that the site was investigated in 2010 when the original Aldi application was made, and gas protection measures were recommended. Therefore, it would be appropriate to ensure that gas protection measures should match those already in place.

## **Ecological Matters**

The application was submitted prior to 2 April 2024 and is therefore not required to comply with Biodiversity Net Gain.

However, the site bounds Sugar Brook. Whilst it is accepted that the works are generally going to take place towards the west of the application site, and away from the brook, it is considered prudent that a CEMP (Biodiversity) condition be imposed to provide safeguard biodiversity measures in this area during construction works.

## **Other Matters**

The original permission imposed a number of conditions including condition 8 which restricted net retail floorspace to 995 sqm. The provision of the extension would result in the net retail floorspace increasing to 1315 sqm. The increase in floorspace would not comply with condition 8 of 09/0729.

A S73 application (Ref: 24/00887/S73) has been submitted to delete the condition to enable the development. Planning application reference 24/00887/S73 is also being considered under this Committee Agenda.

## **Conclusion**

The scale of the development is considered to be acceptable. The development would not have a significant impact on the vitality and viability of Bromsgrove Town Centre and other retail centres within the area. As such the proposal would be in accordance with policies in the District Plan and the NPPF and is considered to be acceptable.

## **RECOMMENDATION:**

- (1) Minded to **APPROVE FULL PLANNING PERMISSION**
- (2) That **DELEGATED POWERS** be granted to the Assistant Director for Planning, Leisure and Cultural Services to determine the full planning application:
  - (a) Following the expiry of the consultation period on 8 April 2025 and in the event that representations are received, that **DELEGATED POWERS** be granted to the Assistant Director for Planning, Leisure and Cultural Services, in consultation with the Chairman of the Planning Committee, to assess whether new material considerations have been raised, and to issue a decision after the expiry of the statutory publicity period accordingly.
  - (b) To agree the final scope and detailed wording and numbering of conditions as set out at the end of this report.

## **Conditions:**

- 1 The development to which this permission relates must be begun not later than the expiration of three years beginning with the date of the grant of this permission.  
  
Reason: In accordance with the requirements of Section 91(1) of the Town and Country Planning Act 1990 as amended by Section 51 of the Planning and Compulsory Purchase Act 2004.
- 2 The development hereby approved shall be carried out in accordance with the plans and drawings to be defined.  
  
Reason: To provide certainty to the extent of the development hereby approved in the interests of proper planning.
- 3 Prior to their first installation, details of the form, colour and finish of the materials to be used externally on the walls and roofs shall be submitted to and approved in writing by the Local Planning Authority. The development shall then be carried out in accordance with the approved details.  
  
Reason: To ensure that the development is satisfactory in appearance, to safeguard the visual amenities of the area.
- 4 A risk assessment should be undertaken to establish whether the proposed development is likely to be affected by landfill or ground gas or vapours. The risk assessment must be provided to and approved in writing by the Local Planning

Authority, prior to the commencement of development. The assessment shall be carried out in accordance with current UK guidance and best practice.

Where the approved risk assessment (required above) identifies ground gases or vapours posing unacceptable risks, no development shall commence until a detailed remediation scheme to protect the development from the effects of such ground gases or vapours has been submitted to and approved in writing by the Local Planning Authority. Following approval, the remediation scheme shall be implemented on site in complete accordance with approved details unless otherwise agreed in writing by the Local Planning Authority.

Following implementation and completion of the approved remediation scheme (required above) and prior to the first occupation of the development, a verification report shall be submitted to and approved in writing by the Local Planning Authority to confirm completion of the remediation scheme in accordance with approved details. Verification of the installation of gas protection measures must be carried out in accordance with current UK guidance and best practice.

Reason: To ensure that the risk to buildings and their occupants from potential landfill or ground gases are adequately addressed.

- 5 No development shall take place (including demolition, ground works, vegetation clearance) until a construction environmental management plan (CEMP: Biodiversity) has been submitted to and approved in writing by the local planning authority. This shall deal with the treatment of any environmentally sensitive areas (within the application site boundary as well as land within the Applicant's ownership as indicated on Site Plan Dwg. No. their aftercare and maintenance as well as a plan detailing the works to be carried out showing how the environment will be protected during the works. Thereafter all works shall be carried out in accordance with the approved Statement throughout the construction period.

The CEMP (Biodiversity) shall include the following:-

- a) Risk assessment of potentially damaging construction activities.
- b) Identification of "biodiversity protection zones".
- c) Practical measures (both physical measures and sensitive working practices) to avoid (e.g. RAMs) or reduce impacts during construction to be provided as a set of Method Statements.
- d) The location and timing of sensitive works to avoid harm to biodiversity features.
- e) The times during construction when specialist ecologists need to be present on site to oversee works.
- f) Responsible persons and lines of communication
- g) The role and responsibilities on site of a suitably competent Ecological Clerk of Works (ECoW).
- h) Use of protective fences, exclusion barriers and warning signs.
- i) A Wildlife Enhancement Strategy to include detailed specification and location of measures including wildlife towers, bat and bird boxes and reptile hibernacula together with any infrastructure requirements for the ongoing management and maintenance of these features, e.g. access for and storage of machinery required to maintain nature conservation areas.

- j) Details of any temporary construction accesses and their reinstatement
- k) Details of site operative parking areas, material storage areas and the location of site operative facilities (offices, toilets etc).
- l) Measures to ensure that vehicles leaving the site do not deposit mud or other detritus on the public highway;
- m) A highway condition survey, timescale for re-inspections, and details of any reinstatement.
- n) Measures to suppress dust arising from demolition, groundworks and construction.
- o) A Monitoring mechanism for construction traffic
- p) Contact details for the Site Manager, including their name, e-mail, office and mobile phone number.

The approved CEMP shall be adhered to and implemented throughout the construction period strictly in accordance with the approved details, unless otherwise agreed in writing by the Local Planning Authority. On completion of the ecological mitigation and enhancement works specified in each Method Statement, a brief Statement of Conformity shall be submitted to the Local Planning Authority by the Ecological Clerk of Works confirming successful implementation.

Reason: In order that the Local Planning Authority can properly consider the effect of the works on the environment.

- 6 Prior to commencement of development, a Tree Protection Plan shall be submitted to and approved in writing by the Local Planning Authority. The development shall then be carried out in accordance with the approved details.

Reason: To ensure that the development is satisfactory in appearance, to safeguard the visual amenities of the area.

- 7 All retained trees and their Root Protection Areas must be protected during clearance and construction phase in accordance with BS5837:2012, using suitable protective fencing and/or ground protection as appropriate. No storage of plant/materials within the Root Protection Areas of any retained trees.

Reason: In order to protect the trees which form an important part of the amenity of the site.

- 8 All tree management pruning work should be carried out in accordance with recognised good practice by reference to British Standard 3998 (2010) to the satisfaction of the Local Planning Authority

Reason: In order to protect the trees which form an important part of the amenity of the site.

- 9 All hard and soft landscaping works shall be carried out in accordance with the approved details as shown on Landscape Dwg. No. The works shall be carried out prior to the occupation of any part of the development or in accordance with a programme agreed in writing by the local planning authority. Any trees or plants which within a period of 5 years from the completion of the development die, are

removed or become seriously damaged or diseased shall be replaced in the next planting season with others of similar sizes or species unless the local planning authority gives written approval to any variation.

Reason: In the interests of the visual amenity of the area.

**Case Officer:** Sharron Williams Tel: 01527 534061 Ext 3372  
Email: [sharron.williams@bromsgroveandredditch.gov.uk](mailto:sharron.williams@bromsgroveandredditch.gov.uk)

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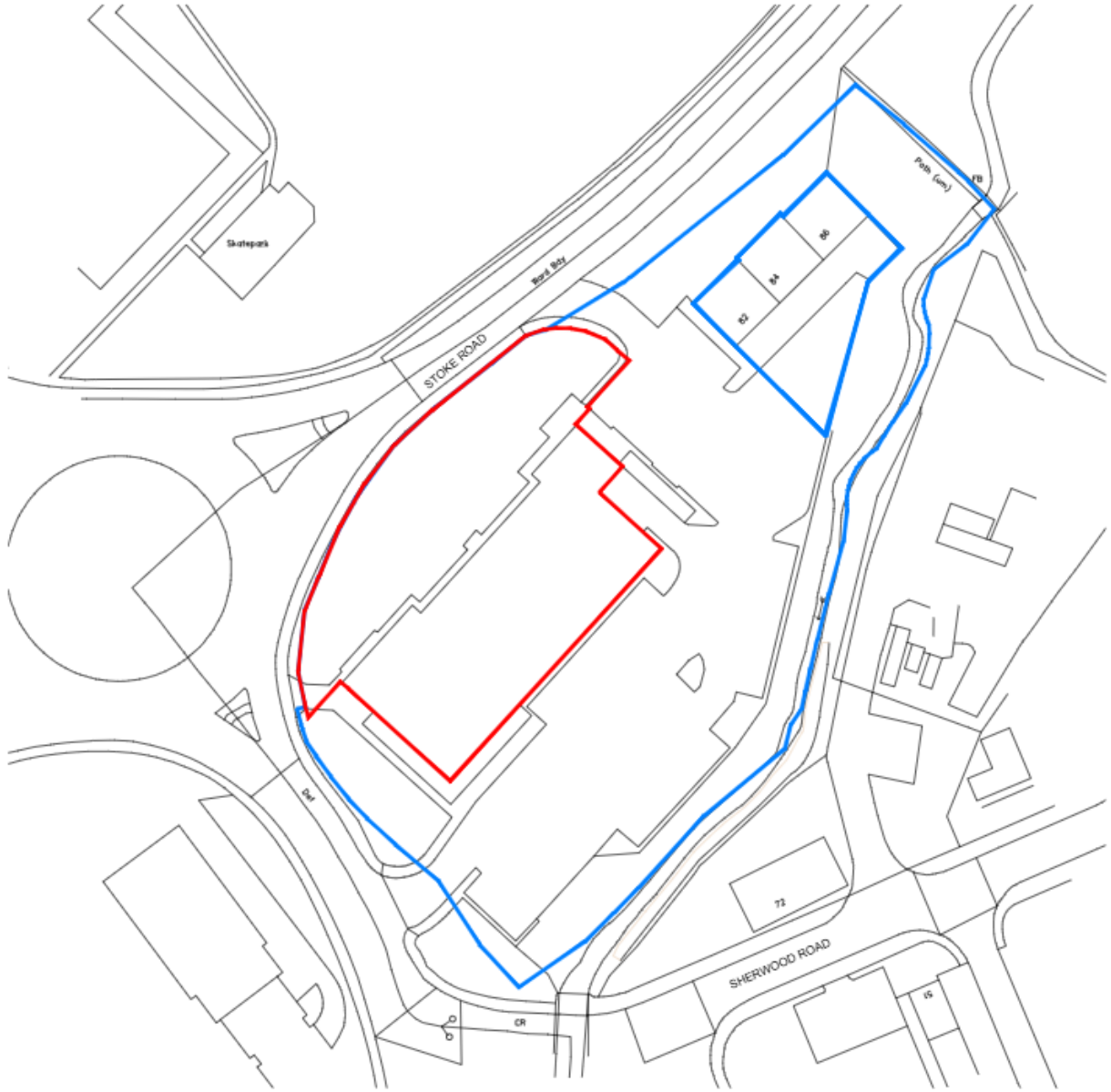
# 22/00571/FUL

**Aldi, Sherwood Road, Bromsgrove**

**Proposed extension comprising additional retail floor space and reconfigured warehouse and welfare block layout.**

## **Recommendation**

- (1) Minded to APPROVE FULL PLANNING PERMISSION**
- (2) That DELEGATED POWERS be granted to the Assistant Director for Planning, Leisure and Cultural Services to determine the full planning application:**
- (a) Following the expiry of the consultation period on 8 April 2025 and in the event that representations are received, that DELEGATED POWERS be granted to the Assistant Director for Planning, Leisure and Cultural Services, in consultation with the Chairman of the Planning Committee, to assess whether new material considerations have been raised, and to issue a decision after the expiry of the statutory publicity period accordingly.**
- (b) To agree the final scope and detailed wording and numbering of conditions as set out in the report.**



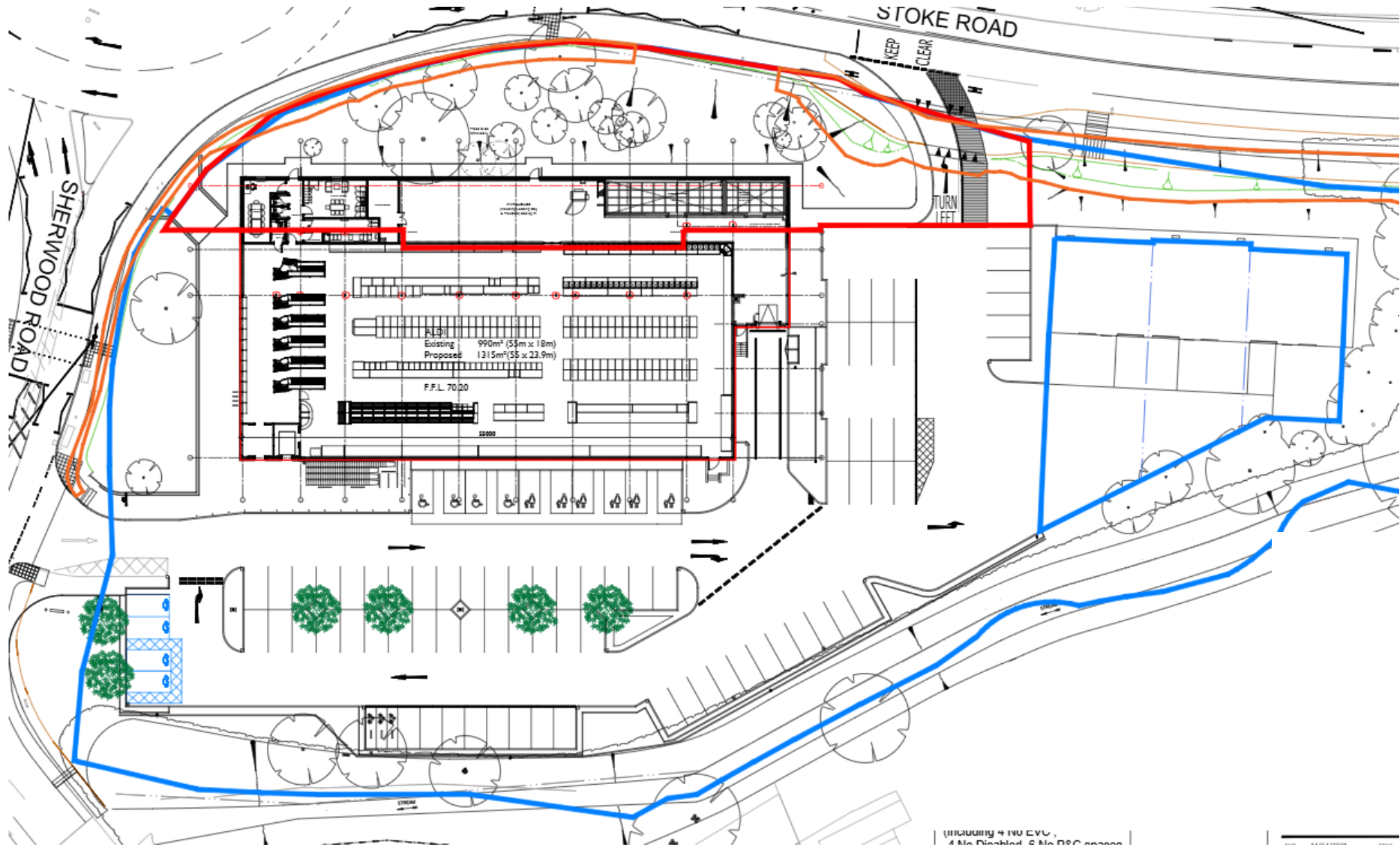
# Site Location Plan

# The Site

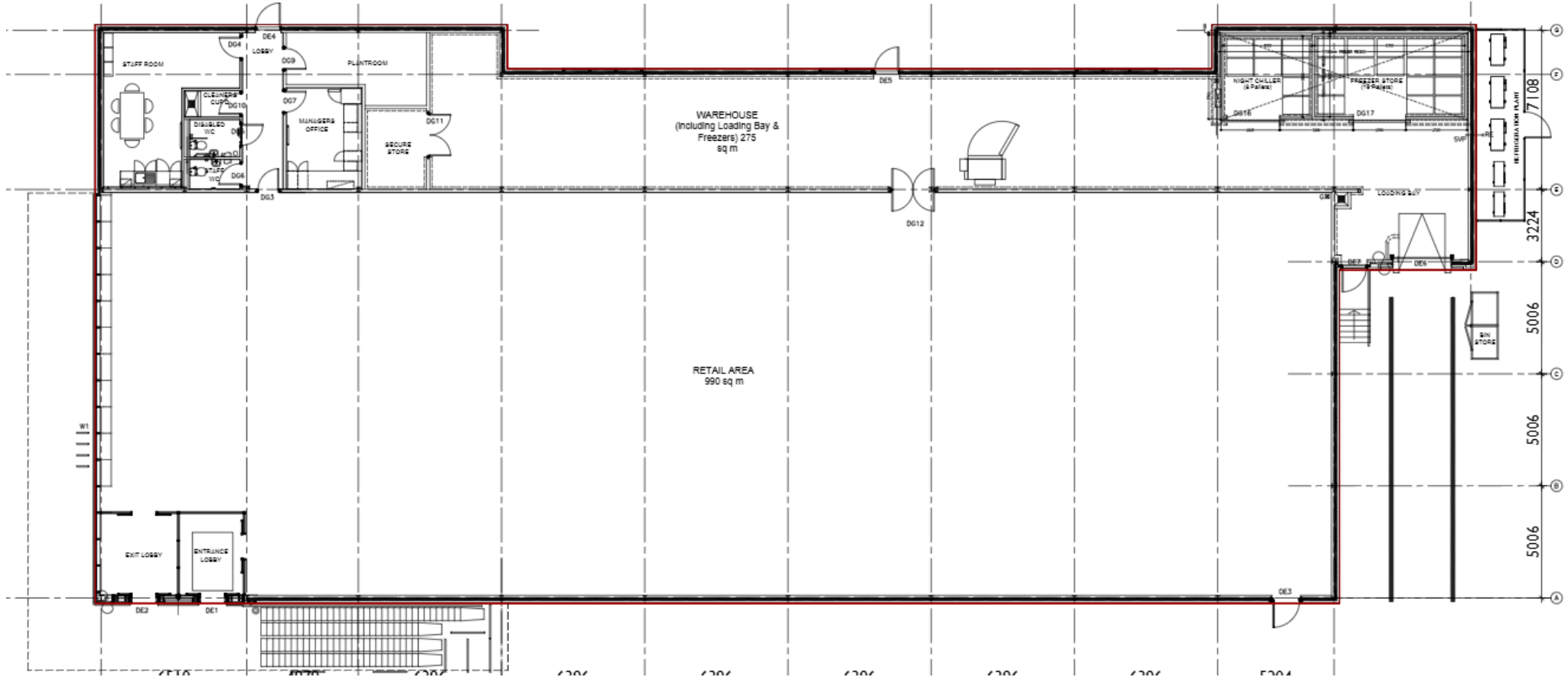




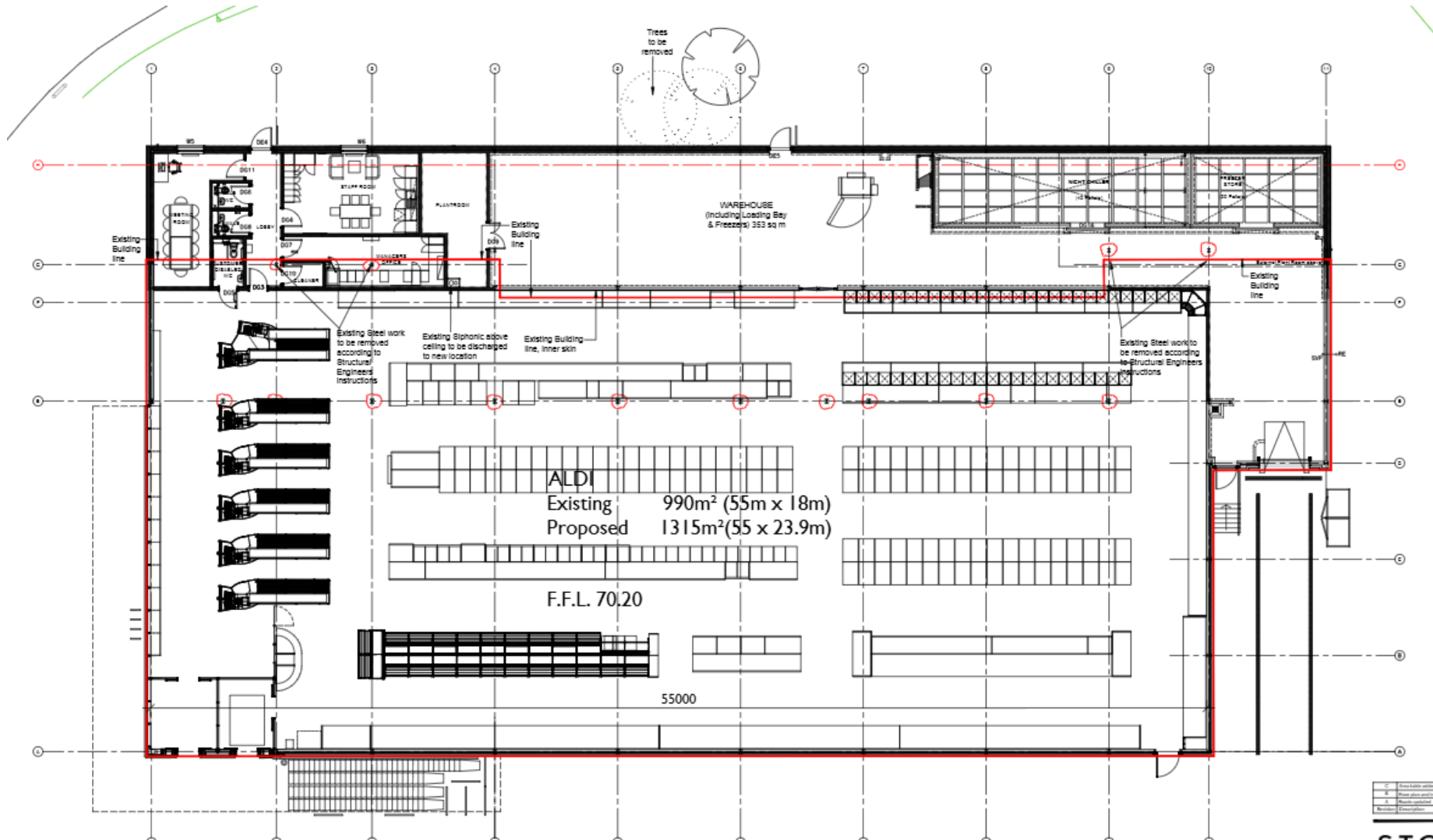
# Proposed Site Plan



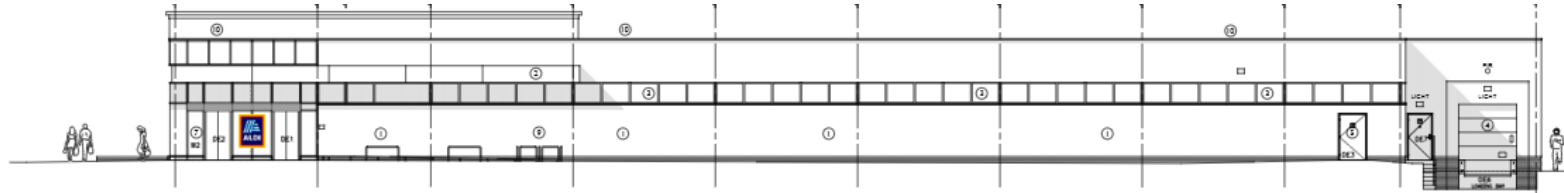
# Existing Floor Plan



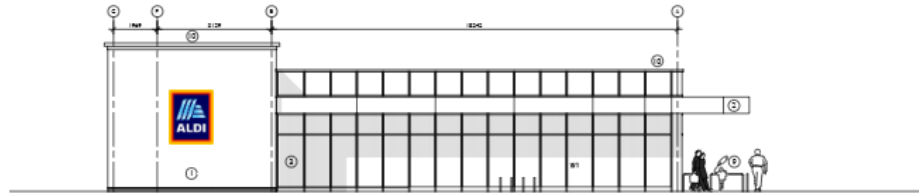
# Proposed Floor Plan



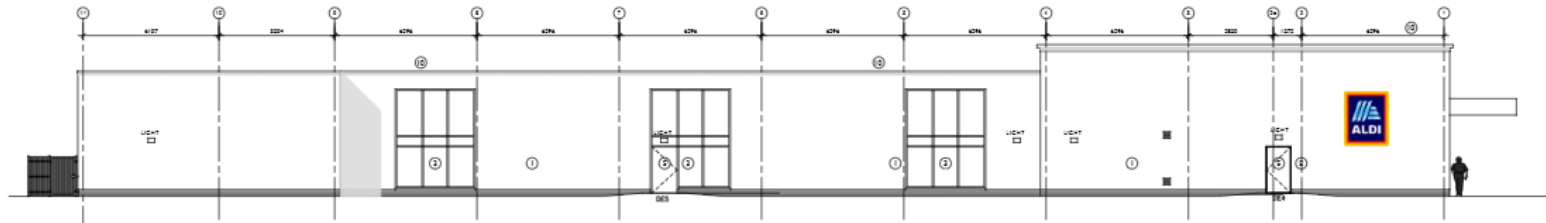
# Existing Elevations



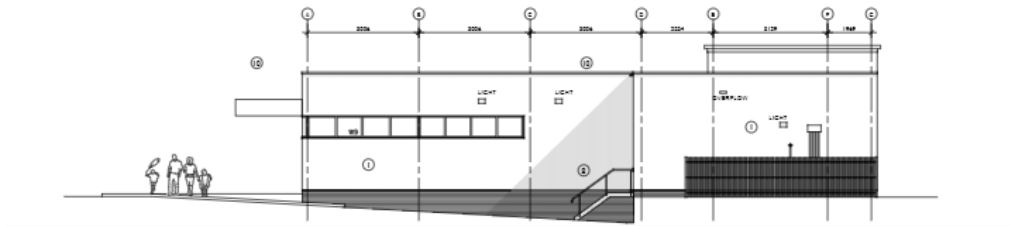
EAST ELEVATION



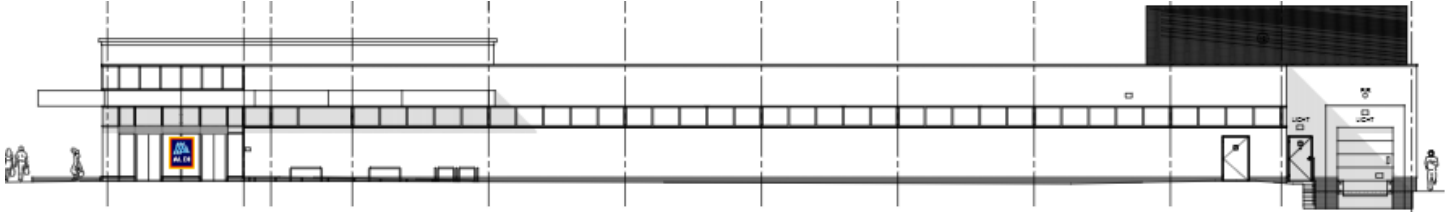
SOUTH ELEVATION



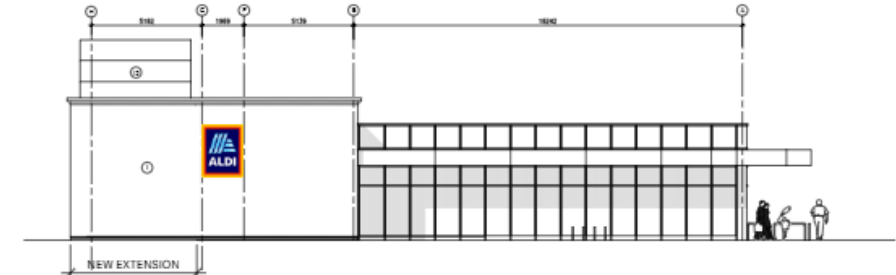
WEST ELEVATION



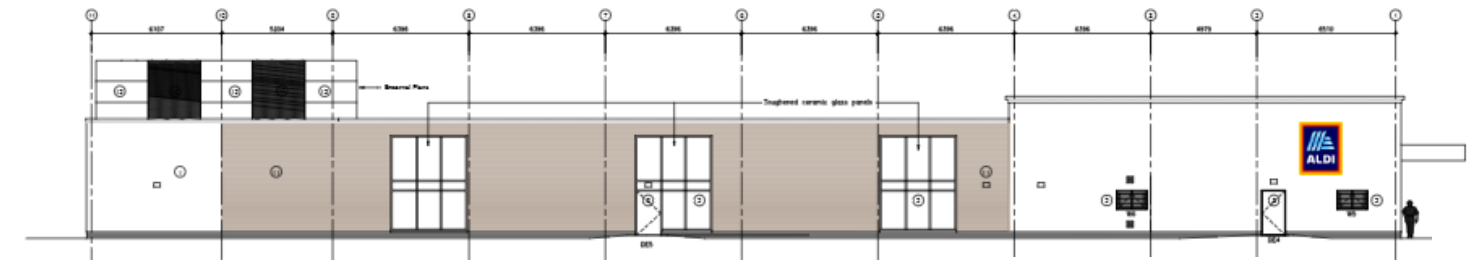
# Proposed Elevations



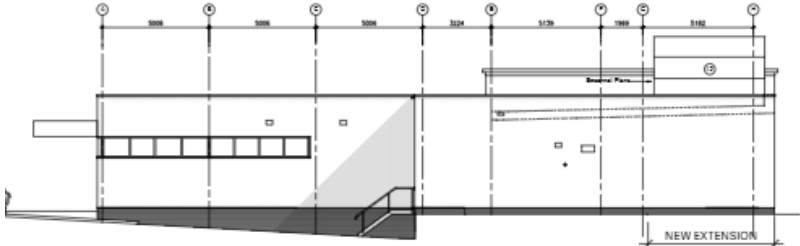
EAST ELEVATION



SOUTH ELEVATION



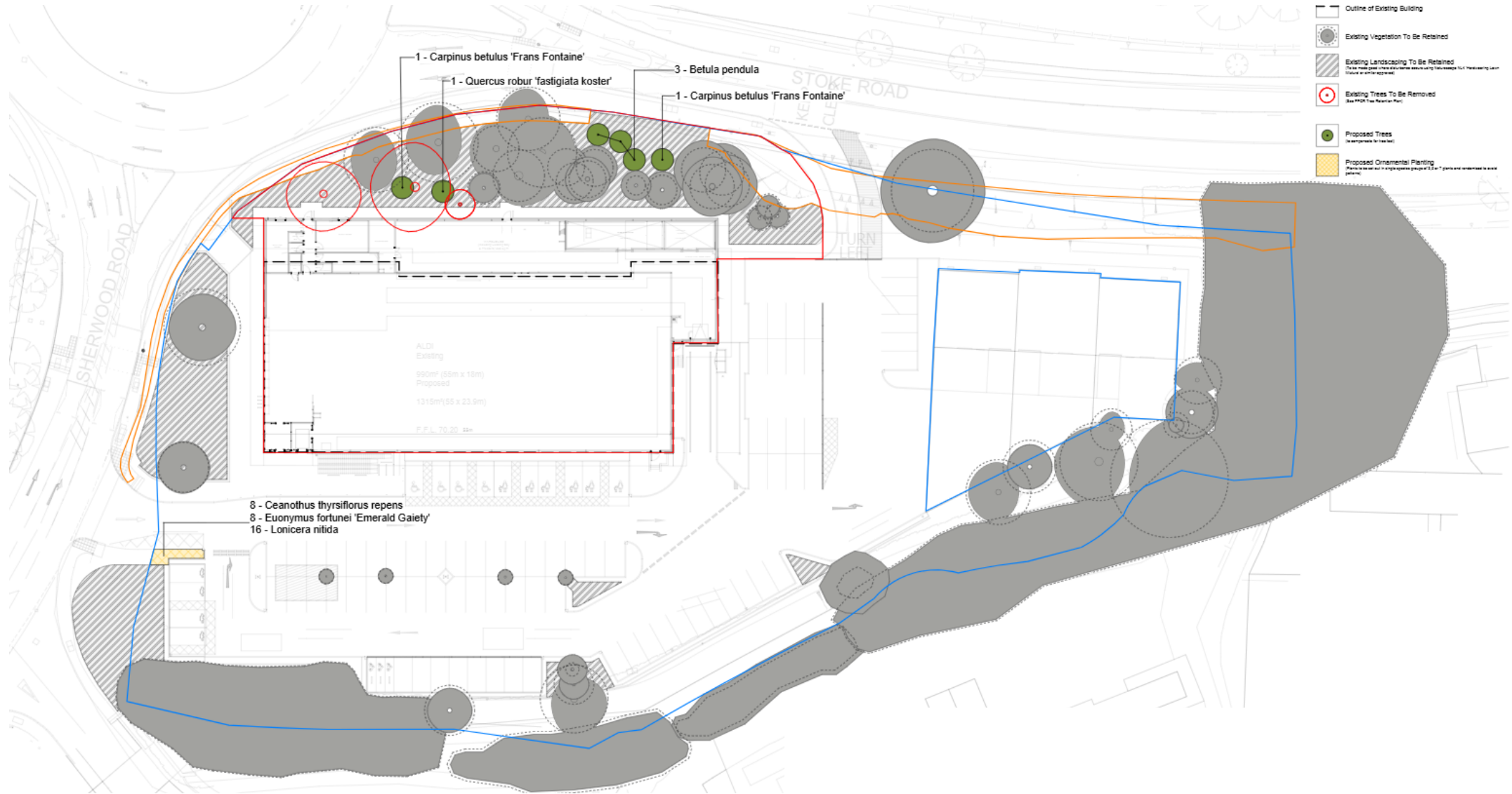
WEST ELEVATION



NORTH ELEVATION



# Proposed Landscaping Scheme



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Name of Applicant	Proposal	Expiry Date	Plan Ref.
Bellway Homes	<p>Variation of condition 25 of planning permission APP/P1805/W/20/3245111 allowed on appeal 09/02/2021 (LPA 16/1132):</p> <p>FROM: No part of the development shall be occupied until the junction of Fox Lane/ Rock Hill has been altered in accordance with the scheme for a roundabout shown on the plan Fox Lane/ Rock Hill schematic ref 7033-SK-005 revision F.</p> <p>AMEND TO: No more than 49 dwellings shall be occupied until the junction of Fox Lane/Rock Hill has been altered in accordance with the scheme for a roundabout shown on the plan Fox Lane/Rock Hill schematic scheme ref 7033-SK-005 revision G and ancillary drawings 7033-s278-701 rev C02, 2015804 AGE-ZZ-XX-DR-X-0002, 0003, 0004, 0005, 0006 REV C02.</p>	04.04.2025	24/00117/S73
	Land at Whitford Road, Bromsgrove		

## RECOMMENDATION:

- (1) **MINDED to GRANT** permission to amend condition 25 of planning permission APP/P1805/W/20/3245111 allowed on appeal 09/02/2021 (LPA 16/1132)
- (2) That **DELEGATED POWERS** be granted to the Assistant Director for Planning, Leisure and Cultural Services to determine the planning application:
  - (a) Following the expiry of the consultation period on 1 April 2025 and in the event that representations are received, that **DELEGATED POWERS** be granted to the Assistant Director for Planning, Leisure and Cultural Services, in consultation with the Chairman of the Planning Committee, to assess whether new material considerations have been raised, and to issue a decision after the expiry of the statutory publicity period accordingly.
  - (b) To agree the final scope and detailed wording and numbering of conditions and other conditions attached to the original planning permission.

## Consultations

### Worcestershire Highways - Bromsgrove

No objection – comments are provided in full:

Worcestershire County Council, acting in its role as the Highway Authority, has undertaken a full assessment of this planning application. Based on the appraisal of the development proposal, the Transport Planning and Development Management Team Leader, on behalf of the County Council, under Article 18 of the Town and Country Planning (Development Management Procedure) (England) Order, 2015 recommends No Objection.

## Previous responses

A summary of the previous responses to this application are set out below:

- The Highway Authority previously responded to this application in formal observations dated 16th June 2024 advising refusal on the grounds that the residual cumulative impacts of the development on the road network would be severe contrary to paragraph 115 of the National Planning Policy Framework (December 2023). At that time, the application sought to vary the trigger point of the mitigation works at the B4091 Rock Hill/ Fox Lane junction from the trigger of zero dwelling occupations to no more than 75 dwelling occupations. Traffic modelling submitted for this application was based upon 2017 data and tested the implication of 75 dwellings.
- A further consultation was received from the Local Planning Authority where the Applicant proposed to alter the condition to allow up to 39 occupations. The Highway Authority reviewed this and responded to this application in formal observations dated 2nd October 2024 advising refusal on the grounds that the residual cumulative impacts of the development on the road network would be severe contrary to paragraph 115 of the National Planning Policy Framework (December 2023). Traffic modelling submitted for this application was based upon 2017 data and tested the implication of 39 dwellings.
- The most recent consultation was received from the Local Planning Authority where the Applicant proposed to alter the condition to allow up to 49 occupations. The Highway Authority reviewed this and responded to this application in formal observations dated 17th February 2024 advising refusal on the grounds that the residual cumulative impacts of the development on the road network would be severe contrary to paragraph 115 of the National Planning Policy Framework (December 2023). Traffic modelling submitted for this application was based upon 2024 data and tested the implications of 100 dwellings noting the description of the application was for 49 dwellings.

## Current consultation

At present, the planning condition (25) requires this scheme to be in place prior to the consented development site being occupied. The scheme comprises the conversion of the current priority junction arrangement to a 3-arm roundabout. The general arrangement of the works is shown in supporting drawing 7033-SK-005 revision F.

This variation of condition application, now seeks to vary the trigger point for the improvement scheme, allowing for 49 dwelling occupations prior to implementation.

In support of this planning application, the following highway information has been submitted by the Applicant:

- 2017 ATC SUMMARY;

- 2024 MCC DATA;
- Non-Technical Summary, WSP, 7th March 2025;
- FOX LANE / ROCK HILL SCHEMATIC PROPOSED ARRANGEMENT, 7033-SK-005 REV G, Rev G; and,
- Technical Note 3, WSP, 7th March 2025.

In addition to the above a series of ancillary drawings 7033-s278-701 rev C02, 2015804 AGE-ZZ-XX-DR-X-0002, 0003, 0004, 0005, 0006 REV C02 are included. These appear to relate to a retaining wall.

The description of this current application, in addition to the proposed variation of the timing/ trigger, relates to the substitution of the scheme of works drawing Revision F to Revision G. Revision G shows the location of the proposed retaining wall. From a highway and transportation perspective, there are no proposed changes to the form, scale and footprint of the roundabout scheme when comparing Revision F and Revision G.

### Impact Assessment

Supporting Technical Note 3 states:

Following the previous submission, WSP has:

- Commissioned September 2024 Manual Classified Counts (MMC) traffic counts at the Fox Lane / Rock Hill junction
- Commissioned September 2024 Automatic Traffic Counts (ATC) traffic counts on Fox Lane and various other links in the local area
- Generate forecast development traffic flows for 8, 20, 30, 40, and 49 dwellings
- Undertake updated traffic junction assessment at Fox Lane Rock Hill using 2024 survey data
- Consider the impacts of the additional 49 residential units on the existing junction arrangement and surrounding network.
- Consider potential impacts upon 'rat running' through the Millfield area – a known concern for residents.

### Trip Generation

Applying previously agreed trip rates, it is predicted that 49 occupied dwellings would generate approximately 33 two-way trips during the AM peak hour (08:00 – 09:00) and 35 two-way trips during the PM peak hour (17:00 – 18:00).

### Traffic Distribution

Using the previously agreed traffic distribution and assignment assumptions, it is anticipated that during the AM peak hour, 49 occupied dwellings would result in 18 two-way trips travelling through the B4091 Rock Hill/ Fox Lane junction. During the PM peak hour, it is predicted that 18 two-way trips would travel through the junction.

### Junction Impact Assessment

Junction modelling has been undertaken using Junctions 11. The Applicant has undertaken the following modelling scenarios:

- 2024 Baseline
- 2024 Baseline + 8 dwellings
- 2024 Baseline + 20 dwellings
- 2024 Baseline + 30 dwellings

Plan reference

- 2024 Baseline + 40 dwellings
- 2024 Baseline + 49 dwellings

Technical Note 3 states:

When using Junctions 11, a DIRECT profile is to be used when you have detailed, specific traffic data for a junction. This profile allows the user to input precise traffic counts for vehicles entering and exiting the junction at different times, typically broken down into 15-minute intervals. Given that this is an existing junction and traffic surveys of an appropriate level of detail have been obtained, the DIRECT profile has been used in all scenarios to ensure that the model reflects real-world conditions as closely as possible, leading to more reliable results.

The table below summarises the modelling results:

	AM			PM		
<b>2024 Baseline</b>						
Arm	Queue (PCU)	Delay (seconds)	RFC (%)	Queue (PCU)	Delay (seconds)	RFC (%)
Fox Lane	8.1	81.68	0.92	1.9	23.96	0.66
Rock Hill	0.7	6.62	0.30	1.8	9.45	0.54
<b>2024 Baseline + 8 dwellings</b>						
Arm	Queue (PCU)	Delay (seconds)	RFC (%)	Queue (PCU)	Delay (seconds)	RFC (%)
Fox Lane	8.1	81.72	0.92	1.9	24.86	0.67
Rock Hill	0.7	6.62	0.30	1.8	9.48	0.54
<b>2024 Baseline + 20 dwellings</b>						
Arm	Queue (PCU)	Delay (seconds)	RFC (%)	Queue (PCU)	Delay (seconds)	RFC (%)
Fox Lane	8.4	85.17	0.93	2.0	26.06	0.69
Rock Hill	0.7	6.62	0.30	1.9	9.70	0.55
<b>2024 Baseline + 30 dwellings</b>						
Arm	Queue (PCU)	Delay (seconds)	RFC (%)	Queue (PCU)	Delay (seconds)	RFC (%)
Fox Lane	8.6	87.01	0.93	2.0	26.27	0.69
Rock Hill	0.7	6.72	0.31	2.0	9.94	0.56
<b>2024 Baseline + 40 dwellings</b>						
Arm	Queue (PCU)	Delay (seconds)	RFC (%)	Queue (PCU)	Delay (seconds)	RFC (%)
Fox Lane	9.3	94.53	0.94	2.0	26.27	0.69
Rock Hill	0.7	6.72	0.31	2.0	9.97	0.56
<b>2024 Baseline + 49 dwellings</b>						
Arm	Queue (PCU)	Delay (seconds)	RFC (%)	Queue (PCU)	Delay (seconds)	RFC (%)
Fox Lane	9.4	94.60	0.94	2.0	26.50	0.69
Rock Hill	0.7	6.72	0.31	2.0	9.98	0.56

A summary of the key outputs is presented below:

- The 2024 junction model currently operates over capacity during the AM peak hour;
- Comparing 2017 and 2024 traffic volumes, the data indicates that traffic volumes have generally reduced across the relevant network;
- The predicted current (2024) delay experienced by drivers on Fox Lane (the minor arm which gives-way to the Rock Hill) during the AM peak is 82 seconds (1 minutes 22 seconds). Average queuing on this arm is approximately 47 metres;
- Following the introduction of development traffic (49 dwellings), the junction experiences further deterioration in performance.
- Average delays on Fox Lane increase to 95 seconds (1 minutes 35 seconds); a total increase in an average delay experienced by drivers of 13 seconds during the AM peak. Average queuing on Fox Lane is predicted to reach a length of 54 metres (an increase of 7 metres)

## Implication of Impact

Supporting Technical Note 3 presents a commentary of the Applicant's view on the implication of the impact of development traffic at the B4091 Rock Hill/ Fox Lane junction. It is noted that:

To conclude, the traffic modelling has been completed and reviewed, showing that during the worst observed period (8:45 to 9:00) the maximum delay in the 49-dwelling scenario is only 13 seconds. This delay occurs only during a brief part of the 8:45 to 9:00 period. Therefore, it is considered that the additional delay generated by the occupied dwellings is considered to be negligible. For example, at 20 dwellings occupied, there will only be a 3.5 second increase in delay. The peak hour (8:45am to 9:00am) has been identified as the period with the highest delays and serves as a summary of the daily queuing trends, demonstrating that congestion is limited at other times of the day.

As noted in the original Transport Assessment and the Transport Assessment Addendum submitted to support the outline application, "it was identified that improvements to the Rock Hill / Fox Lane junction would be required for any future development at Whitford Road and therefore should be offered by the proposed development to mitigate its impact on the already at capacity junction arrangement"<sup>1</sup>

<sup>1</sup> Land at Whitford, Transport Assessment Addendum, WSP, January 2018, paragraph 5.2.30

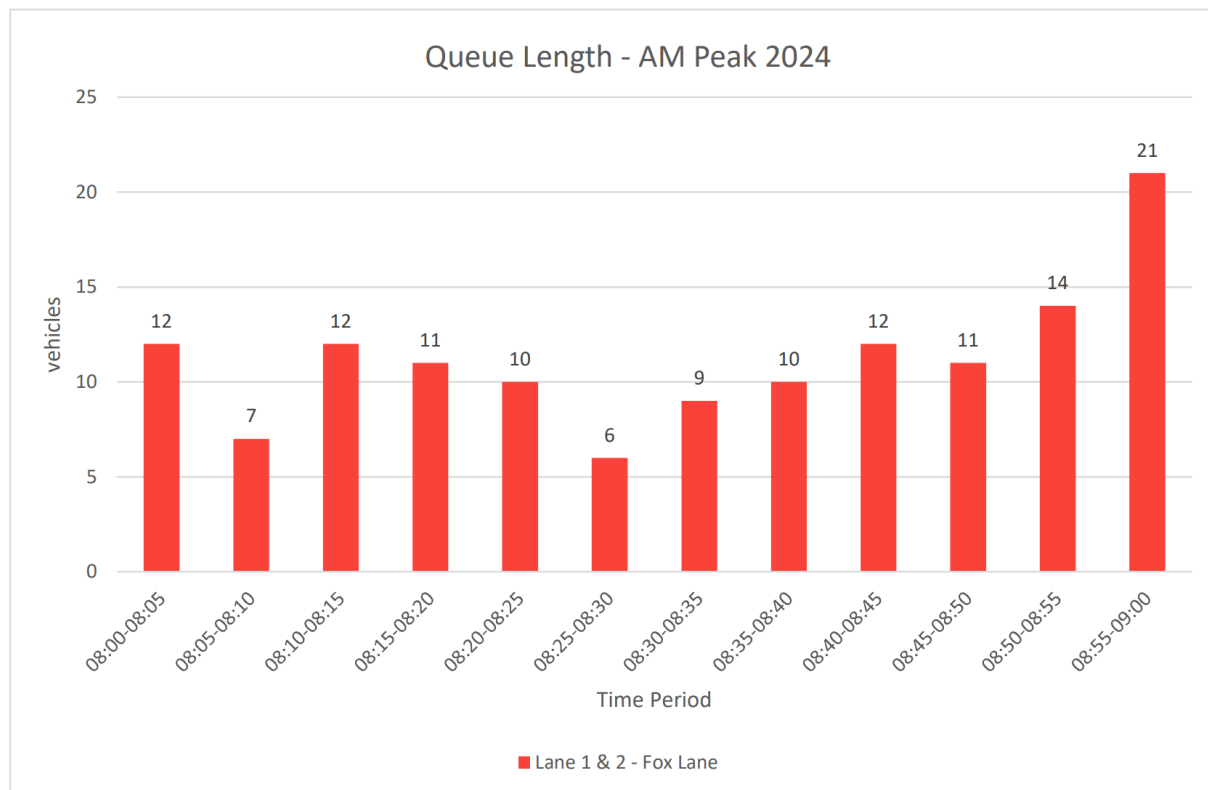
Turning to the specific impacts of the operation of the junction as a result of this current proposal, drivers are anticipated to experience an average increase in delay on Fox Lane during the AM peak of 13 seconds compared to the 2024 baseline situation. The modelling shows that queuing is forecast to increase by 7 metres with a predicted queue length on Fox Lane of 54 metres.

The proposed junction improvement scheme, in addition to providing capacity relief, seeks to change the priorities at the junction where traffic demand on the minor arm (Fox Lane) is forecast to increase as a result of the overall development. Based on the current arrangement, where the minor arm (Fox Lane) gives-way to Rock Hill, the modelling evidence presented predicts increases in delay some 16% greater than those currently experienced in 2024.

The Highway Authority has reviewed the performance of the model to replicate observed queues. The Applicant presents an assessment of the observed queuing on Fox Lane in Technical Note 3. Figure 4 [2024 Baseline Recorded Queue Lengths] is extracted and replicated below:



**Figure 4- 2024 Baseline Recorded Queue Lengths**



Technical Note 3 states:

As shown, the between 8:00 and 8:55 the maximum queue observed was 14 vehicles which results in 77m queue based on a 5.5m PCU value per vehicle and average being 11 vehicles. The queue is then observed to increase to 21 vehicles between 8:55 to 9:00 time period. The 21 vehicle queue at 8.55am which only occurs in that one 5 minute period appears to be an anomaly compared to the rest of the recorded hour, a review of the camera footage has been completed which indicated this was just a short period of queueing that was cleared within 1 minute.

It goes on to state: -

While the model forecasts 8 vehicles in the queue, the average maximum recorded queue over the AM hour is 11 vehicles, whilst the average queue record at the end of each five-minute period over the hour is 4 vehicles. As such, the model queue forecast of 8 vehicles provides an appropriate balance between representing the maximum queues and also recognising the fluctuations in queuing across the hour. This must be considered as there are clear periods across the hour where there are no queues present at the junction, and artificially 'throttling the junction to reflect a maximum queue in likely to lead to unrealistic results.

JUNCTIONS 11 modelling software is a widely used software for analysing priority junctions. But like all models, there are limitations. One of these is the ability of the model to accurately represent actual fluctuations in traffic volume, as evidenced by the queue survey data provided. The model is also not able to quantify the impacts of redistribution/ demand responses as a result of congestion on the network. The Highway Authority does not accept a PCU value of 5.5m and instead has used a PCU value of 5.75m.

Based upon the model submission, the Highway Authority does not consider the model a unrealistic representation of network conditions where congestion, queuing and delays do occur and are shown to in the model outputs.

Based upon the information presented, the deterioration in network performance cannot reasonably be considered severe in accordance with the National Planning Policy Framework. Since development was planned to be supported by this infrastructure from first occupation but this has not happened, the impacts of development are shown to lead to further deterioration of network performance, increasing queuing and delay and therefore associated inconvenience to road users where the junction is shown to operate over capacity. The scale and duration of the impacts of this development are not considered to meet the severity threshold.

The analysis presented in the most recent supporting Technical Note demonstrates the need to deliver the scheme at no later than the 49th dwelling occupation.

In its consideration of the impacts of the development, the Highway Authority has also given due consideration to viable alternatives or transport options for residents. The Highway Authority can confirm that there is a new toucan crossing on Whitford Road close to the site access providing an active travel connection to Sanders Park towards the town centre. As a minimum, this offers a viable alternative to car use in light of existing congestion<sup>2</sup>

<sup>2</sup> <https://www.worcestershire.gov.uk/sites/default/files/2024-09/1%20Whitford%20Road%2C%20Bromsgrove%20-%20Toucan%20Crossing.pdf>.

### **Timing for the proposed scheme of works**

The modelling scenarios indicate a programme where an incremental approach to understanding the implications of development has been taken by the Applicant. This represents a build and occupation trajectory for the housing, and timeline for the completion of the proposed scheme of works:

- 2024 Baseline
- 2024 Baseline + 8 dwellings (end of February)
- 2024 Baseline + 20 dwellings (End of May)
- 2024 Baseline + 30 dwellings (End of July) – at which point the roundabout works should be completed
- 2024 Baseline + 40 dwellings (end of October)
- 2024 Baseline + 49 dwellings (end of December)

Technical Note 3 states:

As noted, it is anticipated that no more than 30 dwellings would be in place by the completion of the highway works, however by the end of December 2025, it is anticipated that the full 49 units could be occupied.

The timing and coordination of works to the public highway is subject to separate permissions/ agreements in accordance with the New Roads and Streetworks Act and Highways Act.

A Section 278 road space permit is required to work on the public highway to alter the layout of the highway in line with a signed S278 legal agreement. Work on the public highway cannot lawfully commence until a permit has been issued and the signed permit

has been received. The necessary Temporary Traffic Management Permits must also be received in suitable time to allow all phases of the works to be completed.

At the time of writing, the Highway Authority can confirm:

1. There is a S278 legal agreement for the scheme of works; and,
2. The Promoter does not currently have a S278 road space permit.

The Highway Development Management Team cannot confirm that the scheme of works will be completed by July 2025 as indicated in Technical Note 3 and cannot confirm when works will commence, the duration of the works programme nor the anticipated completion without a S278 road space permit.

### Conclusion

The Highway Authority has undertaken a robust assessment of the application. Based on analysis of the information provided, the Highway Authority does not consider the impacts of the development to be severe in accordance with the National Planning Policy Framework (December 2024).

### **WRS – Air Quality**

No adverse comments.

### **Strategic Housing & Business Support Manager Bromsgrove District & Redditch Borough Councils**

- Further to discussion I am advised that the developer of the above planning application has applied for a variation to planning condition 25 that no part of the development shall be occupied to the occupation of no more than 49 dwellings on the development until the appropriate highway works are undertaken.
- I am aware that the affordable housing on this site is being delivered through BDHT, and contracts have exchange. The need for this affordable housing is significant. The Council has large numbers of households residing in temporary accommodation for lengthening periods which could be housed in the affordable housing from this development or it can provide move on accommodation to those housed in unsuitable accommodation on the housing register, thus freeing up additional affordable accommodation in the district. Given the significant need for affordable housing and the evidenced detrimental impacts on households living in unsuitable accommodation the Strategic Housing Team would support the variation should it be amended to provide for the occupation of the affordable housing in this instance.

### **Publicity**

Site notices posted 02.05.2024, 09.07.2024, 11.03.2024 (expires 01.04.2025)

Press notice published 08.07.2024, 10.03.2025 (expires 31.03.2025)

61 objections have been received raising the following concerns:

- Contrary to the Inspector's decision requiring roundabout before houses occupied which was accepted by the developers
- Roundabout was a key enabler for the appeal to be allowed
- Existing infrastructure insufficient for current number of residents.
- Bellway may apply for more occupations prior to completing the island
- Will cause even more disruption at already compromised junction

- More vehicles queuing, more air pollution, more driver frustration
- More likelihood of vehicles going down Millfield Road endangering children going to school along a narrow road with, in places, no footpath.
- Existing residents require quick access for emergency vehicles/deliveries – increased congestion puts these at risk.
- Existing infrastructure cannot cope/make existing situation worse
- The former Greyhound pub site is unsightly
- Any survey reports showing a reduction in traffic is due to road closures and should be disregarded.
- No date is stated for completion of the roundabout

Other matters have been raised but these are not material to the determination of the application and have not been reported.

### **The Bromsgrove Society**

- Objects to the application.
- It was acknowledged by the developer (Catesby) at the appeal that the junction is over capacity and was agreed that mitigation be provided prior to first occupation. The Inspector imposed a no occupation condition.
- The Bromsgrove Society is concerned that this application will cause inconvenience and cost to the local community and a deterioration in air quality.
- The junction is incorrectly modelled: number of lanes is inaccurate.
- It appears to The Society that drivers will react to the increased delays purportedly shown in the Applicant's junction model by rat-running through Millfields in increasing numbers, thereby compromising road safety and residential amenity in the Millfields residential area

### **Bromsgrove District Housing Trust (BDHT)**

- Supports the application - referring to the urgent need for increased social housing in Bromsgrove. BDHT state that it is critical that the planning committee considers the consequences of not approving the occupation of the affordable housing on Whitford Road. This decision not only significantly affects individual families' lives but also increases the council's financial expenditure on temporary accommodation, which is at its highest level in over a decade.
- The limited supply of social housing in Bromsgrove in recent years has increased pressure on families living in unsuitable conditions. This includes homelessness, disabled individuals in inappropriate housing, and overcrowded families facing exacerbated damp and mould issues, directly impacting children's health.
- This lack of housing not only worsens social inequality but also affects the overall well-being and economic stability of Bromsgrove residents. By prioritising the release of social housing properties on Whitford Road, we can ensure that 20 households have access to safe and affordable homes. We urge you to consider this pressing issue when determining whether the properties on Whitford Road can be occupied before the roundabout is built.

### **Councillor Hopkins**

- Has requested that the application be submitted to Planning Committee.

## **Relevant Policies**

### **Bromsgrove District Plan**

BDP1 Sustainable Development Principles  
 BDP3 Future Housing and Employment Development  
 BDP5A Bromsgrove Town Expansion Sites  
 BDP16 Sustainable Transport  
 BDP19 High Quality Design

### **Others**

National Planning Policy Framework (2024)  
 National Planning Practice Guidance

## **Relevant Planning History**

24/00516/S73	<p>Variation of condition 22 of planning permission APP/P1805/W/20/3245111 allowed on appeal 09/02/2021 (LPA 16/1132):</p> <p>FROM: 22) No dwelling shall be occupied until the acoustic fencing on the north western part of the site has been erected in accordance with a scheme which has been submitted to and approved in writing by the local planning authority. The acoustic fencing shall be retained thereafter.</p> <p>AMEND TO: 22) No dwelling shall be occupied in relation to the reserved matters 23/00993/REM (Miller Homes phase) including plots 291 to 293 &amp; plots 342 to 353 only of the approved reserved matters</p> <p>22/00090/REM (Bellway Homes phase) or subsequent variations thereof until the acoustic fencing on the north-western part of the site, has been erected in accordance with a scheme which has been submitted to and approved in writing by the local planning authority. The acoustic fencing shall be retained thereafter. The noise mitigation measures of glazing, ventilation and garden fences referred to in the Environmental Noise Assessment (22336-1- R8) prepared by Noise.co.uk</p>	Granted	12.12.2024
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dated 25 October 2024 shall be applied to the approved reserved matters 22/00090/REM (Bellway Homes phase) or subsequent variations thereof in accordance with the following details: the Glazing and Ventilator Performance table version 4 submitted on 09/12/24 and Acoustic Private Garden Fence drawing number SD-9-03 dated October 2024 unless alternative other minor variations of these details are submitted to and agreed in writing by the Local Planning Authority prior to installation.

24/00150/REM	Reserved Matters application (Layout, Scale, Appearance and Landscaping) to outline planning permission 16/1132 (granted on appeal APP/P1805/W/20/3245111) for the erection of a retail unit and associated infrastructure within Site A.		Delegated by Planning Committee 08.08.2024 Awaiting Legal Agreement
23/00993/REM	Reserved Matters (Layout; scale; appearance and landscaping) to outline planning permission 16/1132 (granted on appeal APP/P1805/W/20/3245111) for the erection of 120 dwellings with associated car parking, landscaping and other infrastructure within the northern section of Site A.	Approved	06.02.2025
22/00090/REM	Reserved Matters (layout; scale; appearance and landscaping) to outline planning permission 16/1132 (granted on appeal APP/P1805/W/20/3245111) - for the erection of 370 dwellings with associated car parking, landscaping and other infrastructure within the southern section of Site A Non Material Amendment to condition 1 landscaping drawings of Reserved Matters approval 22/00090/REM: Replacement of translocated hedge. New hedge planting along Whitford Road	Approved	08.07.2022

16/1132	Outline Planning Application for: Site A (Land off Whitford Road) Provision of up to 490 dwellings, Class A1 retail local shop (up to 400 sqm), two new priority accesses onto Whitford Road, public open space, landscaping and sustainable urban drainage; and Site B (Land off Albert Road) Demolition of Greyhound Public House, provision of up to 15 dwellings, new priority access onto Albert Road, provision for a new roundabout, landscaping and sustainable drainage.	Allowed at Appeal APP/P1805/ W/20/324511	09.02.2021
13/0479	Residential development comprising up to 490 dwellings and small retail (Class A1) shop; together with two new accesses onto Whitford Road; provision of new public open space; landscaping; and sustainable urban drainage	Refused  Dismissed at Appeal	21.08.2014  03.08.2015

## **Assessment of Proposal**

### Proposal

Condition 25 prevents the occupation of any of the 490 dwellings granted planning permission under the allowed appeal APP/P1805/W/20/3245111, until the junction at Fox Lane/Rock Hill has been altered in accordance with the roundabout details shown on drawing 7033-SK-005 revision F. The current application seeks to vary this in 2 respects:

- To amend the drawing details to also include a retaining wall required to support the adjoining land at the former Greyhound Pub site.
- To allow occupation of 49 dwellings before the new roundabout at Fox Lane/Rock Hill is altered.

### Background

Bromsgrove District Council resisted the appeal in 2021 on the grounds of highway impact. The alterations to the Fox Lane/Rock Hill junction were crucial in the appeal decision to grant planning permission. This point is picked up in several of the public comments received.

The proposal to vary the condition to allow occupation of some dwellings prior to the alteration of the roundabout has been subject to amendments and the submission of additional supporting information. This has occurred in response to concerns expressed by both the Highway Authority and your officers.

### Highway Matters

The current proposal seeks to allow the occupation of 49 dwellings and is supported by survey data from 2024 and further modelling information (including a non-technical

summary) which is available to view under the application reference on the Council's website.

Bellway Homes anticipates that the roundabout could be completed by the end of the school summer holidays and estimates the gradual occupation of 49 dwellings by the end of December 2025. Supporting information has been provided on the following scenarios with estimated dates of occupation:

- +8 dwellings (end of February)
- +20 dwellings (end of May)
- +30 dwellings (end of July)
- +40 dwellings (end of October)
- +49 dwellings (end of December)

Figure 4 from the applicant's modelling sets out the 2024 baseline recorded number of queuing vehicles at Fox Lane / Rock Hill. Figure 4 is included within the Worcestershire Highways - Bromsgrove Comments section above. The associated baseline AM Peak delay on Fox Lane is 82 seconds. During the observed worst 15-minute period (8:45- 9:00) where the baseline queueing is highest, the following additional time delays are added:

- 8 dwellings + 0.1 of a second
- 20 dwellings + 3.5 seconds
- 30 dwellings + 5.4 seconds
- 40 dwellings + 12.9 seconds
- 49 dwellings + 13 seconds

It is clear that the supporting information demonstrates that occupation will result in an increase in delays and queuing at the Fox Lane / Rock Hill junction.

Paragraph 116 of the National Planning Policy Framework sets out that development should only be prevented or refused on highway grounds if there would be an unacceptable impact on highway safety, or the residual cumulative impacts on the road network, following mitigation, would be severe, taking into account all reasonable future scenarios. Therefore, it is necessary to consider whether the impact of the occupation of 49 dwellings would be severe.

The supporting information has been assessed by Worcestershire County Council Highways. WCC is the statutory consultee providing specialist comments to the Local Planning Authority on highway related matters. The Highways comments are provided in full within the consultations section of this report. Members will note that the modelling software used by the applicant is a widely used means of analysing priority junctions. Whilst there are limitations in all models, based upon the submission, the Highway Authority does not consider the model an unrealistic representation of network conditions where congestion, queuing and delays do occur and are shown to in the model outputs.

The Highway comments explain that based on the information submitted, the deterioration in network performance cannot reasonably be considered severe. Whilst the effect of occupation will result in a deterioration of network performance, increased queuing and delay and therefore inconvenience to road users, the scale and duration of the impact are not considered to meet the severity threshold. No concerns have been raised by the Highway Authority with regards to highway safety. Thus, it has been satisfactorily



demonstrated that there is no conflict with paragraph 116 of the NPPF, nor Policy BDP16 of the BDP.

The Committee is advised that the amended condition 25 would continue to require the junction to be altered to provide the roundabout. The consultation response from the Highway Authority confirms that the analysis of the supporting Technical Note 3 demonstrates the need to deliver the scheme at no later than the 49<sup>th</sup> dwelling occupation. This aligns with the proposed amendment. On the basis of the information provided, consultee comments and planning judgment, the proposal for occupation of 49 dwellings is considered acceptable.

Bellway Homes anticipates that the roundabout will be completed by the end of the school summer holidays. However, at the time of preparing this report a s278 road space permit has not been issued by WCC. Therefore, although some works have been undertaken off the adopted highway as part of the provision of the roundabout scheme, it is not yet known when work can be undertaken to the adopted highway. This information is not required in order to determine this planning application. The proposal is seeking occupation of 49 dwellings prior to the alteration of the junction and this has been demonstrated to be satisfactory.

Some public comments express concern that another application may be submitted in the future to further vary the number of dwellings that may be occupied before the junction is altered. Any future application would be assessed on its own merits and has no bearing on the assessment of this application before Committee.

### Retaining Wall

The Highway Authority has confirmed that from a highway and transportation perspective, there are no changes to the form, scale and footprint of the roundabout when comparing 7033-SK-005 revision F and 7033- SK-005 REV G. Revision G includes a retaining wall.

Retaining walls are a feature of this stretch of Fox Lane and Rock Hill and this is considered acceptable in principle. It is proposed that the appearance of the new retaining wall will emulate country stone – an additional condition will be required to approve the material to ensure the satisfactory appearance of the wall in accordance with policy BDP19. The position of the retaining wall is shown to extend close to a TPO tree. A tree work application has previously been granted under permission TPO23/019 to 'Reduce canopy to allow access for piling rig to install the retaining wall required for the junction improvement works approved as part of the approved 470 home residential Development known as Whitford Green, Whitford Road, Bromsgrove, Worcestershire' with the submitted drawing indicating a retaining wall close to the Willow tree. The Tree Officer has confirmed there are no concerns regarding the impact of the development on the TPO tree - the impact on the tree is considered to be acceptable.

### Air Quality

Some public comments have objected to the application on the basis that air quality would be adversely affected. WRS (Air Quality) has raised no concerns regarding air quality as a result of a variation to occupation. The proposal is considered acceptable with regard to air quality matters.

## Affordable Housing

Comments in support of the application refer to the provision of affordable housing. Members are advised that the proposed variation to the condition makes no reference to the tenure of the 49 dwellings. The developer has indicated that it is aiming for a split of 20 affordable housing units (no information has been provided regarding the split between social rent/shared ownership) and 29 private units but is unable to confirm the number of units to be occupied as affordable housing. Members should be aware that the determination of the application would have no control over the tenure of the dwellings to be occupied. This would be at the discretion of the developer.

## Conclusion

The further information submitted by the applicant has satisfactorily demonstrated that the impact on the highway from the occupation of 49 dwellings cannot reasonably be considered severe, as confirmed by the Highway Authority. Therefore, the threshold for refusing the application on highway grounds is not met; the proposal does not conflict with paragraph 116 of the NPPF.

The appearance of the retaining wall can be satisfactorily achieved by means of planning condition.

The proposed amended condition continues to secure the provision of the roundabout. Other conditions attached to the outline planning permission will be applied to the s73 decision to ensure satisfactory development is achieved.

The requirements of the s106 Legal Agreement attached to the original appeal decision continue to apply to any planning permission granted as a result of this S73 application and thereby ensure that the impact of the development is satisfactory mitigated.

To conclude, the occupation of 49 dwellings prior to the alteration of the Fox Lane / Rock Hill junction is considered acceptable with regards to planning policy and other material planning considerations.

As the public consultation period expires on 1<sup>st</sup> April, delegated authority is sought to determine the application.

## **RECOMMENDATION:**

- (1) **MINDED to GRANT** permission to amend condition 25 of planning permission APP/P1805/W/20/3245111 allowed on appeal 09/02/2021 (BDC 16/1132)
- (2) That **DELEGATED POWERS** be granted to the Assistant Director for Planning, Leisure and Cultural Services to determine the planning application:
  - a. Following the expiry of the consultation period on 1 April 2025 and in the event that representations are received, that **DELEGATED POWERS** be granted to the Assistant Director for Planning, Leisure and Cultural Services, in consultation with the Chairman of the Planning Committee, to assess whether new material considerations have been raised, and to issue a decision after the expiry of the statutory publicity period accordingly.

Plan reference

- b. To agree the final scope and detailed wording and numbering of conditions and other conditions attached to the original planning permission.

## **Conditions**

Conditions attached to the outline planning permission will be applied to the s73 decision, in addition to a new condition relating to:

- Facing materials for the retaining wall on Fox Lane/Rock Hill

**Case Officer:** Jo Chambers Tel: 01527 881408  
Email: jo.chambers@bromsgroveandredditch.gov.uk

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# 24/00117/S73

## Land At Whitford Road Bromsgrove

Proposal to amend condition 25 No part of the development shall be occupied until the junction of Fox Lane/ Rock Hill has been altered in accordance with the scheme for a roundabout shown on the plan Fox Lane/ Rock Hill schematic ref 7033-SK-005 revision.

Recommendation: Minded to Grant: Delegated

**Variation of condition 25** of planning permission APP/P1805/W/20/3245111 allowed on appeal 09/02/2021 (LPA 16/1132):

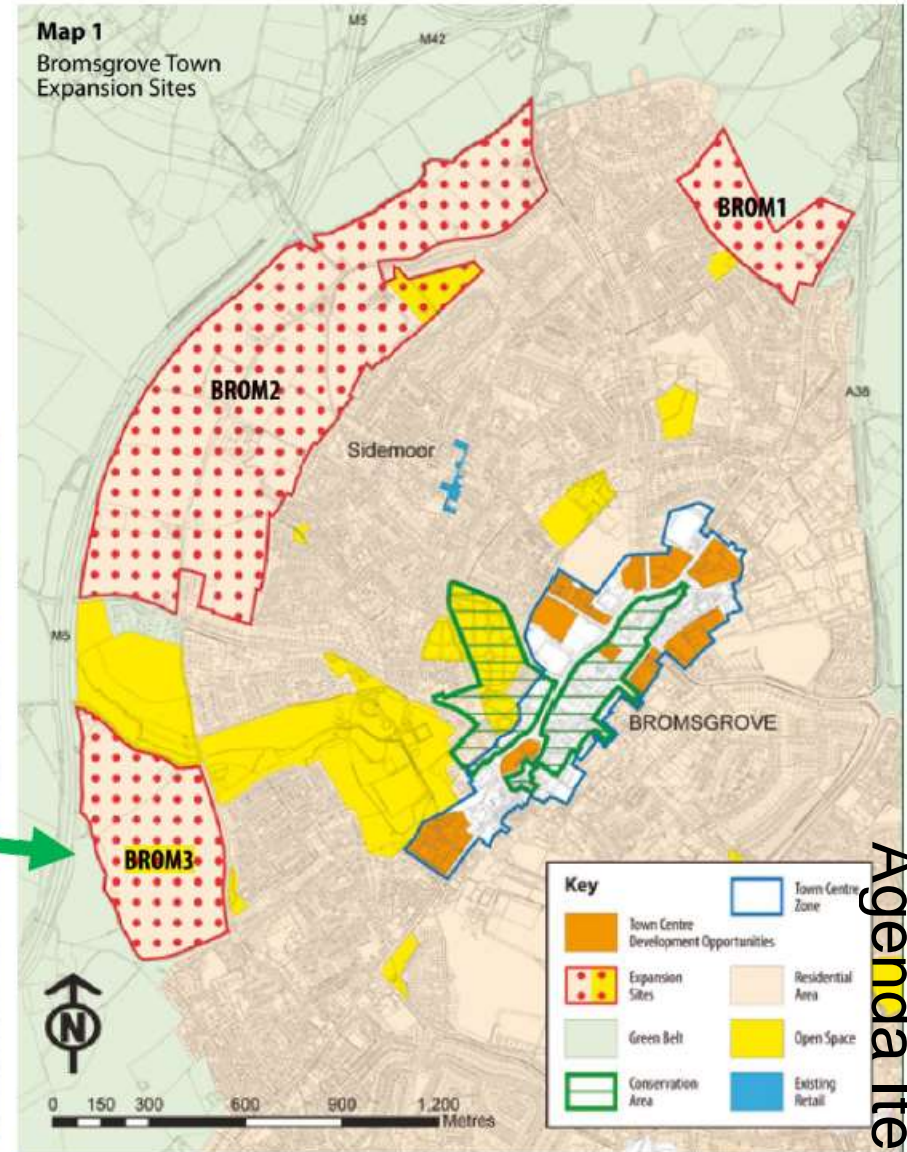
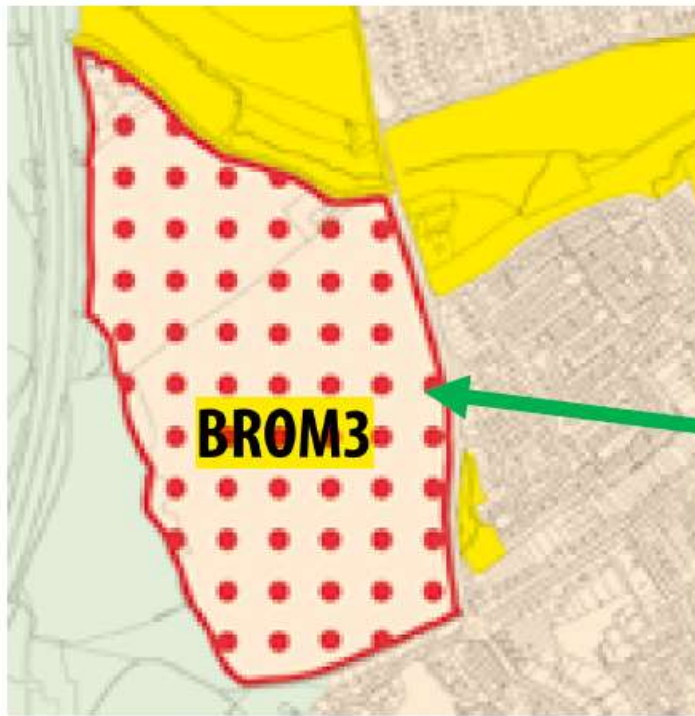
**FROM:**

No part of the development shall be occupied until the junction of Fox Lane/ Rock Hill has been altered in accordance with the scheme for a roundabout shown on the plan Fox Lane/Rock Hill schematic ref 7033-SK-005 revision.

**TO:**

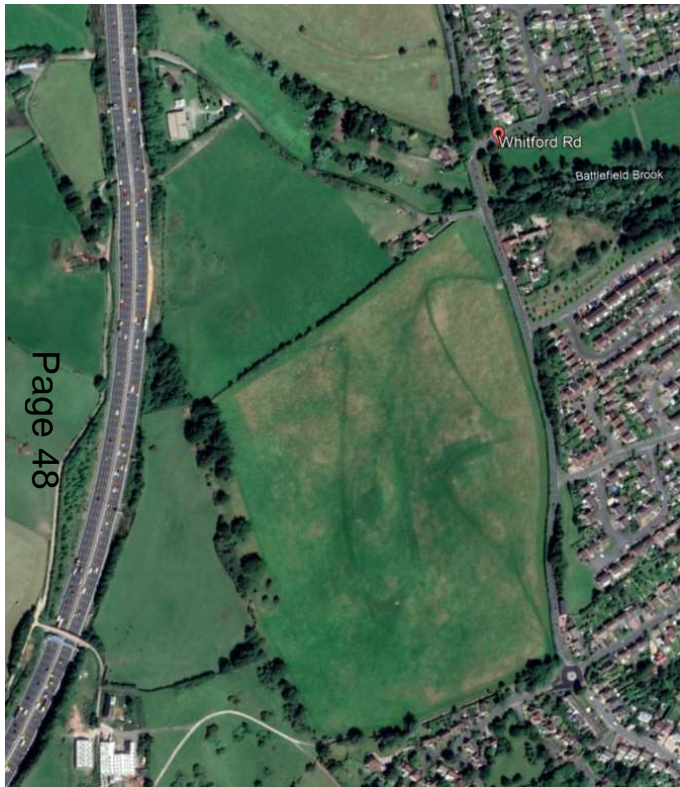
No more than 49 dwellings shall be occupied until the junction of Fox Lane/Rock Hill has been altered in accordance with the scheme for a roundabout shown on the plan Fox Lane/Rock Hill schematic scheme ref 7033-SK-005 revision G and ancillary drawings 7033-s278-701 rev C02, 2015804 AGE-ZZ-XX-DR-X-0002, 0003, 0004, 0005, 0006 REV C02.

# Application site in relation to Bromsgrove District Plan site – BROM 3

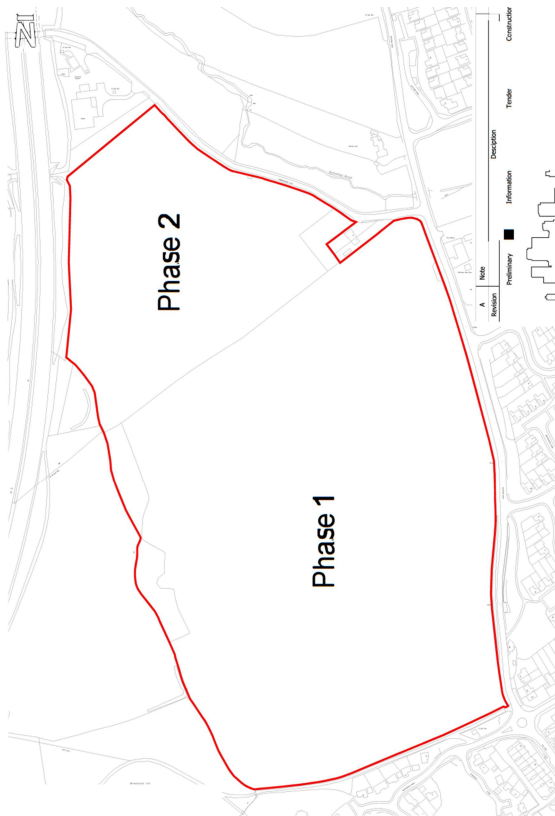




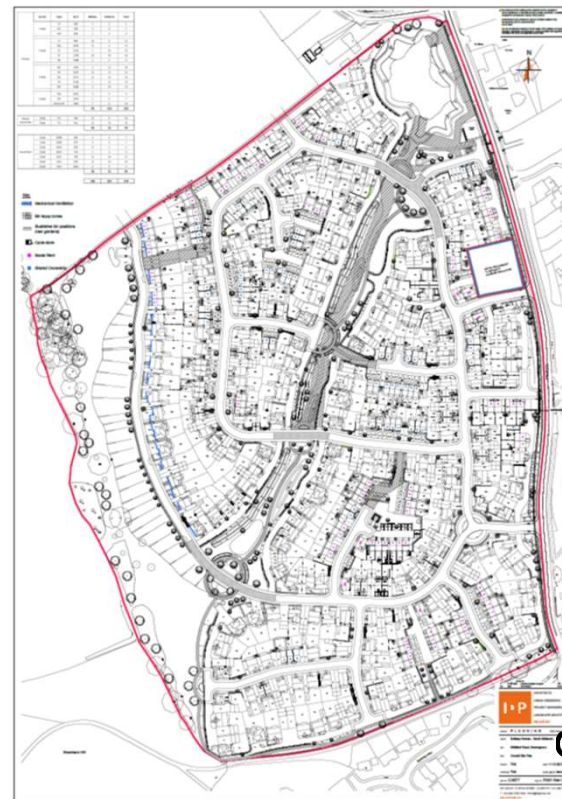
# Aerial View



# Site A



# Bellway Layout (ph 1)





# Schematic ref 7033-SK-005 revision F

# Schematic ref 7033-SK-005 revision G

G | 12/12/24 | SH | RETAINING WALL INFORMATION ADDED

Page 49



Agenda Item 5

# 7033-S278-701-C02



- NOTES
1. ALL DIMENSIONS ARE IN METRES UNLESS OTHERWISE STATED.
  2. ALL WORKS SHALL BE COMPLETED TO THE SATISFACTION OF THE WORCESTERSHIRE COUNTY COUNCIL (WCC) REPRESENTATIVE.
  3. THIS DRAWING IS TO BE PRINTED IN COLOUR AND READ IN CONJUNCTION WITH ALL DRAWINGS AND NOTES FROM THE WCC DESIGN PACK 7033/S278. THE CONTRACTOR IS TO SATISFY THEMSELVES THAT THERE ARE NO DISCREPANCIES WITHIN THE DESIGN PACK BEFORE COMMENCING ON SITE. IF IN DOUBT ASK.
  4. ALL FOUNDATIONS WILL REQUIRE INSPECTION BY ENGINEER AND WCC 2017 SPDS IN SURFACES TO BE FINISHED AND FILLED WITH CARBON/FINE 1 (CL 803) MATERIAL TO WCC REPRESENTATIVE REQUIREMENTS.
  5. CROSS SECTIONS DETAILING TO THIS DRAWING CAN BE FOUND ON WPP DRAWING NO. 7033/S278/140-145.
  6. CONTRACTOR TO UNDERPANE WORKS IN ACCORDANCE TO THE SPECIFICATION AND PROVIDED SHOWN DETAILS.
  7. FOR PAVEMENT REFUSE DETAILS, REFER TO DRAWING NO. 7033/S20/01.
  8. FOR JOINING INTO EXISTING ROAD SURFACE REFER TO WCC SD WCC-2017-400-07 CONTAINED WITHIN 7033/S20/005.
- 101 KERB LANE IN EXISTING & PROPOSED CARRIAGEWAY WITH 125mm UPSTAND REFER TO WCC SD WCC-2017-400-02 CONTAINED WITHIN 7033/S20/005
- 102 KERB LANE AT BACK OF FOOTWAY REFER TO WCC SD WCC-2017-400-06 CONTAINED WITHIN 7033/S20/005
- 103 KERB LANE WITH 60mm UPSTAND AT DROPPED FOOTWAY CROSSING AND 25mm UPSTAND UNDER ACCESS, WITH TRANSITION KERB WHERE APPROPRIATE, REFER TO WCC SD WCC-2017-400-08 CONTAINED WITHIN 7033/S20/005
- 104 225mm DEEP EDGING FOR VEHICLE OVERHANG AREAS, REFER TO WCC SD WCC-2017-400-05 CONTAINED WITHIN 7033/S20/005
- 105 KERB LANE WITH 125mm UPSTAND TO WCC SD WCC-2017-400-02 EXCEPT WITH:
  - 500mm DIA CONCRETE BACKING FINISHED 80mm BELOW TOP OF KERB FOR CONCRETE ISLAND KERB AND FLUSH WITH TOP KERB FOR FOX LANE KERB
  - BRUSHED FINISH TO TOP OF BRICKS CONCRETE WITH 150mm WIDE FLOAT FINISH TO THE FRONT AND BACK
  - FIBREGLASS EXPANSION JOINTS TO THE BACKING CONCRETE AT 5M INTERVALS
- 106 EBN FOOTWAY EDGING, REFER TO WCC SD WCC-2017-400-04 CONTAINED WITHIN 7033/S20/005
- 107 GRAB 1000 200mm DEEP, LAD WITH 25mm UPSTAND BETWEEN ACCESS DRIVEWAY AND FOOTWAY TO CHANNEL WATER AWAY FROM FOOTWAY, FOOTWAY ON HIGH SIDE, REFER TO 2020A WCC-2017-400-09 CONTAINED WITHIN 7033/S20/005
- 108 500 225mm DEEP SHARP KERB UNIT LAD WITH 75mm UPSTAND WITH BED AND BENCHING IN ACCORDANCE WITH WCC-2017-400-02 CONTAINED WITHIN 7033/S20/005

KEY: DO NOT SCALE

- EXTENT OF S278 WORKS
- CALL LEVEL CARRIAGEWAY CONCRETED IN EXISTING VERGE / FOOTWAY / CARRIAGEWAY TO BE LAD TO DESIGN LEVELS REFER TO WPP DRAWING NO. 11 TO FOOTING DETAIL SECTION
- CARRIAGEWAY TO BE LAD TO DESIGN IN ACCORDANCE WITH WCC BE IN DETAIL WCC-2017-400-07 REFER TO DRAWING 7033/S20/002 FOR FINISH DETAILS
- PAVING AND RESURFACE SURFACE COURSE REFER TO DRAWING 7033/S20/002 FOR MATERIAL SPECIFICATION
- SURFACE COURSE AND BINDER, REFER TO DRAWING 7033/S20/002 FOR MATERIAL SPECIFICATION
- FULL DEPTH EDGING
- FULL DEPTH ASPHALT FOOTWAY CONSTRUCTION TO SD-042
- LEVELS TO THE INTO EXISTING FOOTWAYS AT ENDS
- CARRIAGEWAY CONSTRUCTION AT SPALTER ISLANDS PROPOSED SPALTER ISLANDS CONCRETED AS PART OF SURROUNDING CARRIAGEWAY AND FINISHED WITH 125mm OF FOOTWAY CONSTRUCTION WITH 25mm REGULAR IN BINDER COURSE
- VEHICULAR CROSSOVER CONSTRUCTION REFER TO WCC SD WCC-2017-200-03
- GRASS/SEED REFER TO WCC SD WCC-2017-200-08
- GRASS/SEED REFER TO WCC SD WCC-2017-400-02
- BUFF TACTILE PAVING SLABS REFER TO WCC SD WCC-2017-300-01, 02 & 03
- RED TACTILE PAVING SLABS AT CONTROLLED PEDESTRIAN CROSSING CONSTRUCTION BUILD UP TO BE AS PER BUFF TACTILE PAVING TO WCC SD WCC-2017-300-01 BUT WITH RED TACTILE UNITS ARRANGED AS PER THIS DRAWING
- RED PEDESTRIAN TACTILE PAVING MARBOLITE LAMBERT DETENTED PAVING OR SIMILAR TO BE INSTALLED TO MANUFACTURERS RECOMMENDATION
- RED COLOURED HMA WITH CHIPPINGS SURFACE COURSE, REFER TO DRAWINGS SD-002

CODE	ISSUES	REV	REVISED FOR PLANNING	DATE	BY
S	-/SD20	MC	SUBMITTER REVIEW	28	JA
F	5/18/19	MC	WCC 2ND COMMENTS 5/18/19	3	JA
E	14/06/19	MC	WCC 2ND COMMENTS 14/06/19	10	JA
S	16/12/19	MC	ISSUED TO WCC & WCC/0 COMMENTS	14	JA
C	24/01/20	MC	GENERAL AREA ASSESS TO RESURFACE AND DRAINAGE AREAS FOR COMMENTS	15	JA
B	16/06/20	MC	WCC 2ND SURVEY ASSESS	16	JA
A	16/06/20	MC	FINAL ISSUE	16	JA
REV	DATE	BY	DESCRIPTION	DATE	APP

DRAWING DETAILS

A - FIT FOR CONSTRUCTION

**wsp**

Manchester House, Burgin Way, Birmingham B21 4AU, UK  
 T: +44 (0) 1203 391 855, F: +44 (0) 1203 391 700  
 www.wsp.com

CLIENT: CATESBY ESTATES PLC

PROJECT: WHITFORD ROAD, BROMSGROVE

DESCRIPTION: ROCK HILL FOX LANE ROUNDABOUT SURFACING & KERBS

DATE SET	ISSUED	DATE	PROCESSED
1/20	28/06	03	08

PREPARED BY	CHECKED BY	DATE	DATE
70033/003	MC	14/06	May 18

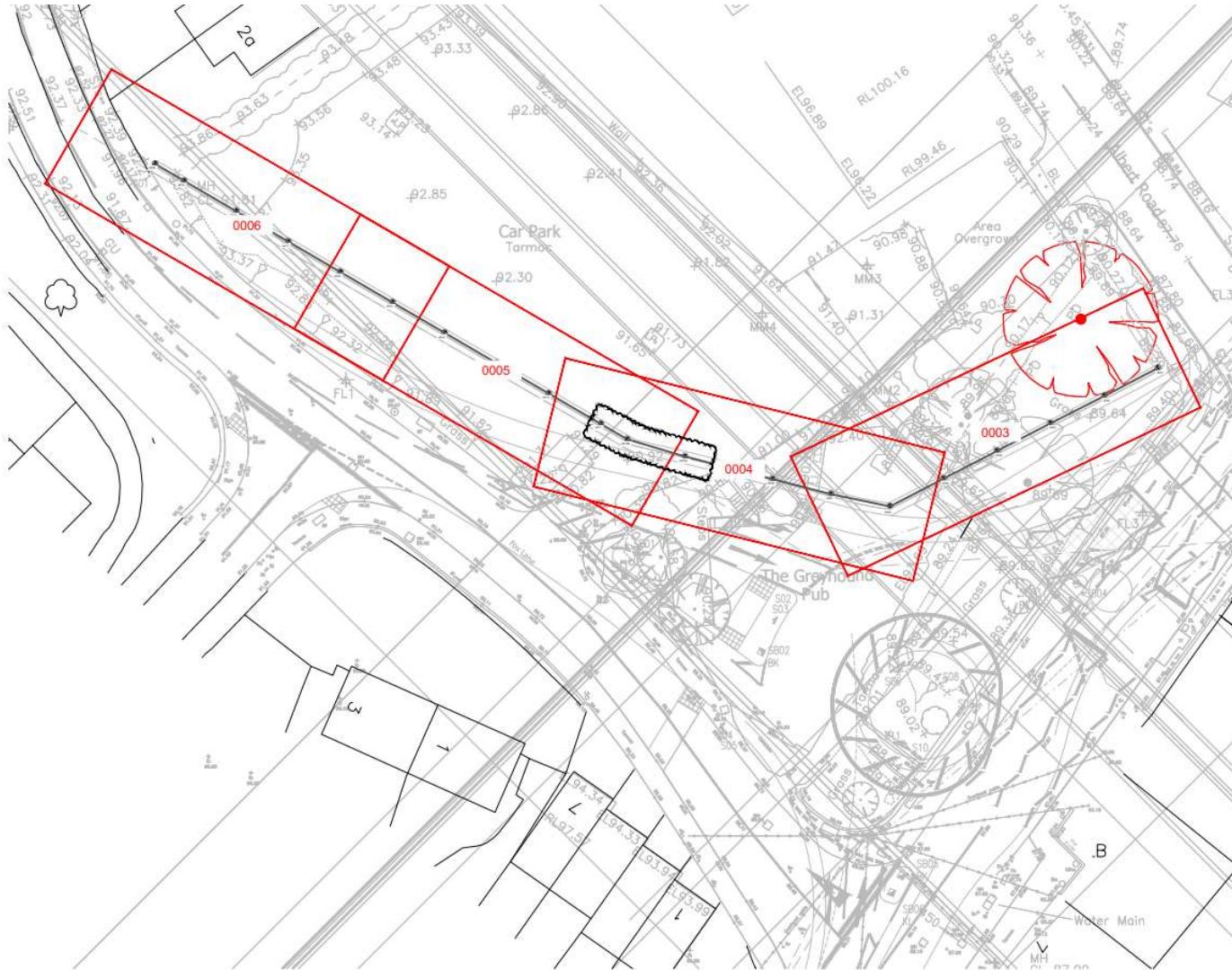
DRAWING: 7033-S278-701 C02

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# 2015804-AGE-ZZ-XX-DR-X -0002\_C02



4. ANY DISCREPANCIES NOTED ON SITE ARE TO BE REPORTED TO THE AARSLEFF GROUND ENGINEERING ENGINEER IMMEDIATELY.
5. PRESENCE OF EXISTING SERVICES AND STRUCTURES SHOULD BE INVESTIGATED PRIOR TO COMMENCEMENT OF WORK ON SITE. ADEQUATE MEASURES SHOULD BE MADE TO PROTECT OR DIVERT AS APPROPRIATE.
6. SETTING OUT BY OTHERS
7. ANY DISCREPANCIES TO GROUND INVESTIGATION DATA STATED, MUST BE REPORTED IMMEDIATELY TO THE SITE ENGINEER.

DRAWING TO READ IN CONJUNCTION WITH GDR REPORT REF "2015804-AGE-01-00-RP-X-0001-A02"

POST REF	SECTION SIZE	BORE DIA (mm)	LENGTH (m)
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0P03	200x200x46	0.45	5
0P04	200x200x46	0.45	5
0P05	200x200x46	0.45	5
0P06	200x200x46	0.45	5
0P07	200x200x46	0.45	5
0P08	200x200x46	0.45	5
0P09	200x200x46	0.45	5
0P10	200x200x46	0.45	5
0P11	200x200x46	0.45	5
0P12	200x200x46	0.45	5
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0P17	200x200x46	0.45	5
0P18	200x200x46	0.45	5
0P19	200x200x46	0.45	5
0P20	200x200x46	0.45	5

PANEL REF	PANEL SPEC	PANEL HEIGHT (m)	PANEL WIDTH (m)	TOTAL No.
A	KK0600/S	0.6	4.95	56
B	KK0600/S	0.6	2.75	3
C	KK0600/S	0.6	2.45	6

101	1511024	CD	276	REVISED PRICES ALLOWED
102	1511024	CD	276	REVISED POST SPACING & SLOPED FOR CONSTRUCTION
103	0511024	CD	276	REVISED TO SUIT EXTENDED WALL LINE
104	0511024	CD	276	REVISED TO SUIT EXISTING CONDUITS
105	0511022	CD	276	ISSUED FOR CONSTRUCTION
106	0505021	MOL	276	ISSUED FOR APPROVAL

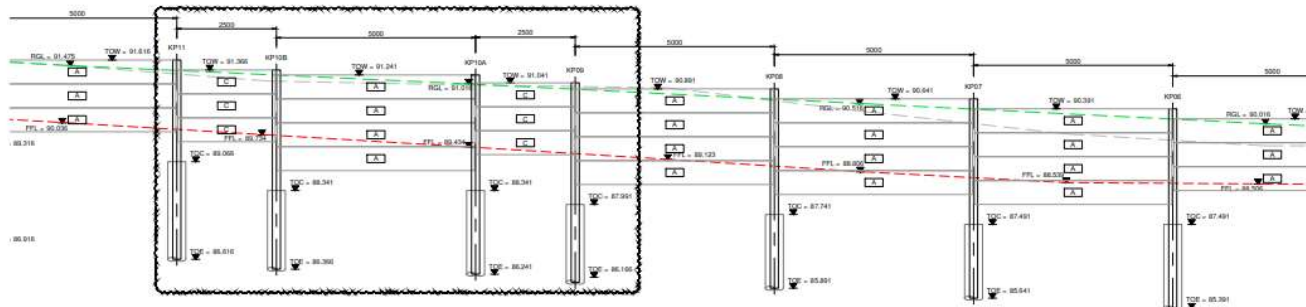
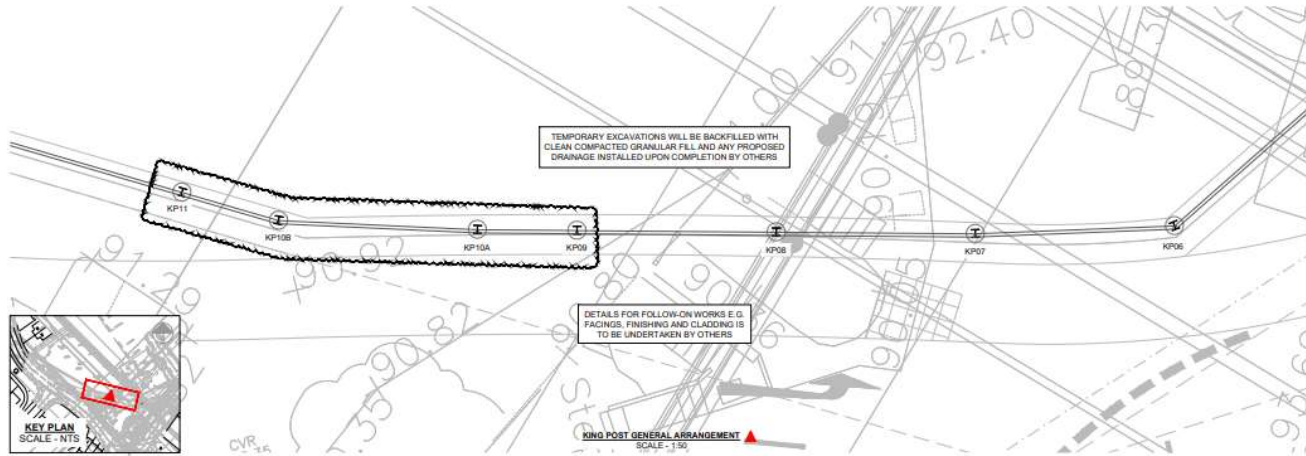
**AARSLEFF** GROUND ENGINEERING LTD  
 UNIT 10, BELLWAY INDUSTRIAL PARK  
 WINDYBUSH, WITTINGHAM, GLEBE  
 Notts NG16 9JH  
 T: 01530 811146  
 E: info@arsleff.co.uk  
 www.arsleff.co.uk



Client	BELLWAY HOMES LIMITED					
Project	ROCK HILL, BROMSGROVE					
Drawing Title	KING POST WALL DRAWING OVERVIEW					
PROJECT	GRID	VOL	LEVEL	TYPE	ROLE	NUMBER
2015804	AGE	ZZ	XX	DR	X	0002
Scale	1:150 @ A1	Date	JUNE 2023	By	CD	CHK. MVE
Status	A1 - APPROVED	Classification	C02			



# 2015804-AGE-ZZ-XX-DR-X-0004\_C02



KEY	
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---	RETAINED GROUND LEVEL (RGL)
---	PILE PLATFORM LEVEL (PPL)
---	TOP OF WALL (TOW)
---	TOP OF CONCRETE LEVEL (TOC)
---	MINIMUM EMBEDMENT LEVEL (TOE)

5. PRESENCE OF EXISTING SERVICES AND STRUCTURES SHOULD BE INVESTIGATED PRIOR TO COMMENCEMENT OF WORK ON SITE. ADEQUATE MEASURES SHOULD BE MADE TO PROTECT OR DIVERT AS APPROPRIATE.
6. SETTING OUT BY OTHERS
7. ANY DISCREPANCIES TO GROUND INVESTIGATION DATA STATED, MUST BE REPORTED IMMEDIATELY TO THE SITE ENGINEER.

DRAWING TO READ IN CONJUNCTION WITH IQR REPORT REF: "2015804-AGE-01-00-RP-X-0001-A02"

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KP07	203x203x48	0.85	5
KP08	203x203x48	0.85	5
KP09	203x203x48	0.85	5
KP10	203x203x48	0.85	5
KP11	203x203x48	0.85	5

PANEL REF	PANEL SPEC	PANEL HEIGHT (m)	PANEL WIDTH (m)	TOTAL No.
A	XXXXXX	0.6	4.95	16
B	XXXXXX	0.9	2.95	8
C	XXXXXX	0.9	2.45	6

REV	DATE	BY	CHK	DESCRIPTION
01	2024/10/01	CD	CD	REVISED SHEET CLADDING
02	2024/10/01	CD	CD	REVISED SHEET CLADDING & ROAD WORK CONSTRUCTION
03	2024/10/01	CD	CD	REVISED SHEET PHOTOGRAPHY
04	2024/10/01	CD	CD	REVISED SHEET PHOTOGRAPHY

**AARSLEFF**

**Bellway**

Client: BELLWAY HOMES LIMITED  
Project: ROCK HILL, BROMSGROVE

Drawing Title: KING POST WALL  
GA & ELEVATION SHEET 2 OF 4

Project Origin: VOL. LEVEL. TYPE. ROLL NUMBER  
2015804 - AGE - ZZ - XX - DR - X - 0004

Scale: 1:50 @ A1 Date: OCTOBER 2024 By: CD Chk: MVJ  
Status: A1 - APPROVED Revision: 002

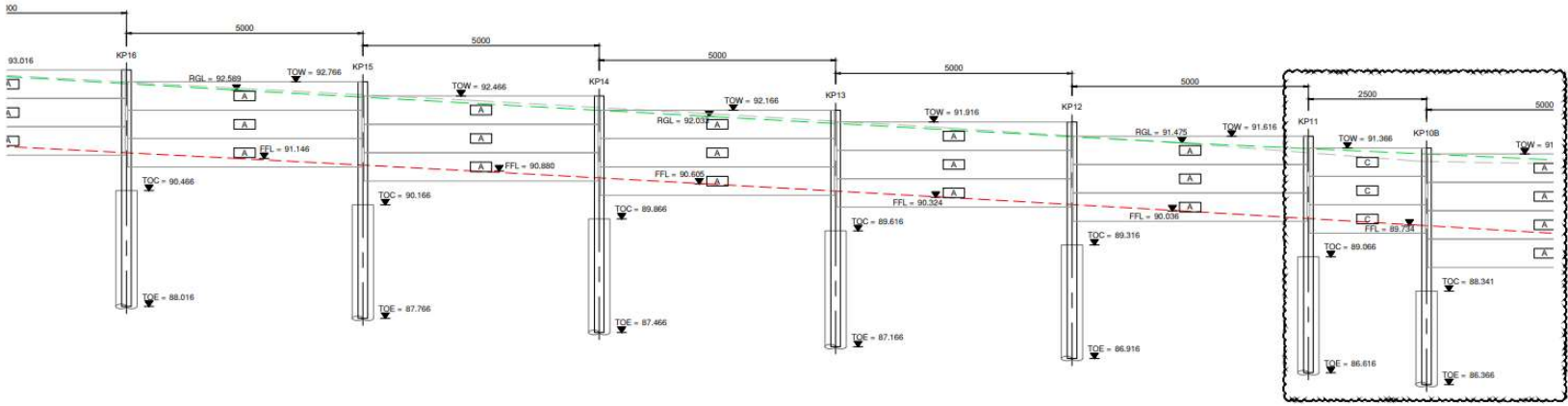


# 2015804-AGE-ZZ-XX-DR-X-0005\_C02



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KP05	203x203x46	0.45	5	
KP06	203x203x46	0.45	5	
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KP08	203x203x46	0.45	5	
KP09	203x203x46	0.45	5	
KP10A	203x203x46	0.45	5	
KP10B	203x203x46	0.45	5	
KP11	203x203x46	0.45	5	
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KP16	203x203x46	0.45	5	
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KP19	203x203x46	0.45	5	
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PANEL REF	PANEL SPEC	PANEL HEIGHT (m)	PANEL WIDTH (m)	TOTAL No.
A	KKD600/8	0.6	4.95	56
B	KKD600/8	0.6	2.75	3
C	KKD600/8	0.6	2.45	6



**KING POST ELEVATION**  
SCALE - 1:50

KEY	
---	FINISHED FORMATION LEVEL (FFL)
- - -	RETAINED GROUND LEVEL (RGL)
---	PILING PLATFORM LEVEL
TOW	TOP OF WALL
TOC	TOP OF CONCRETE LEVEL
TOE	MINIMUM EMBEDMENT LEVEL

CD	REV	DATE	BY	CHK	REVISION
01	1				ISSUED FOR APPROVAL
02	1				REVISED POST SPACINGS & ISSUED FOR CONSTRUCTION
03	1				REVISED WHERE CLOUDED

**AARSLEFF** GROUND ENGINEERING LTD  
 HAYTON LANE, BALDERTON, NOTTINGHAMSHIRE, NG4 5BU  
 T: 01663 811142  
 E: aars@arsleff.co.uk  
 W: www.arsleff.co.uk



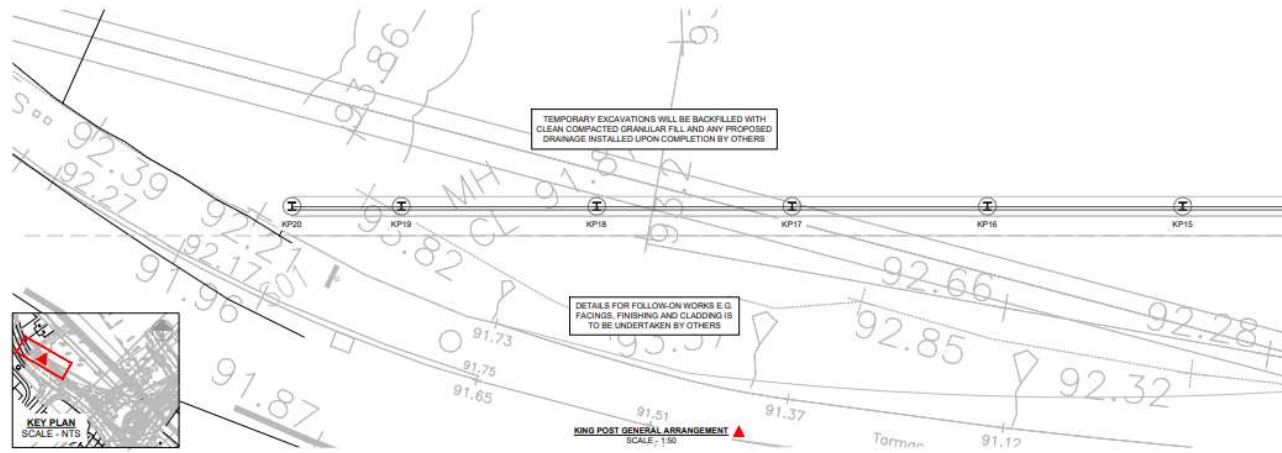
Client: **BELLWAY HOMES LIMITED**  
 Project: **ROCK HILL, BROMSGROVE**

Drawing Title: **KING POST WALL GA & ELEVATION SHEET 3 OF 4**

PROJECT	ORIGIN	VOL	LEVEL	TYPE	ROLE	NUMBER
2015804	AGE	ZZ	XX	DR	X	0005

Scale: 1:50 @ A1 Date: OCTOBER 2024 By: CO Chk: MV  
 Status: A1 - APPROVED Revision: C02 Classification:

# 2015804-AGE-ZZ-XX-DR-X-0006\_C02

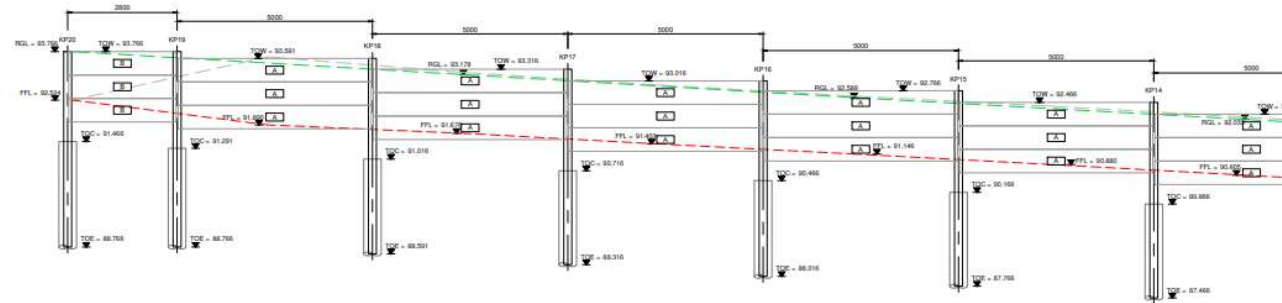


4. ANY DISCREPANCIES NOTED ON SITE ARE TO BE REPORTED TO THE AARSLEFF GROUND ENGINEERING ENGINEER IMMEDIATELY.
5. PRESENCE OF EXISTING SERVICES AND STRUCTURES SHOULD BE INVESTIGATED PRIOR TO COMMENCEMENT OF WORK ON SITE. ADEQUATE MEASURES SHOULD BE MADE TO PROTECT OR DIVERT AS APPROPRIATE.
6. SETTING OUT BY OTHERS
7. ANY DISCREPANCIES TO GROUND INVESTIGATION DATA STATED, MUST BE REPORTED IMMEDIATELY TO THE SITE ENGINEER.

DRAWING TO READ IN CONJUNCTION WITH IDR REPORT REF "2015804-AGE-01-00-RP-X-0001 A02"

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KP07	200x200x40	0.40	3
KP08	200x200x40	0.40	3
KP09	200x200x40	0.40	3
KP10	200x200x40	0.40	3
KP11	200x200x40	0.40	3
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KP15	200x200x40	0.40	3
KP16	200x200x40	0.40	3
KP17	200x200x40	0.40	3
KP18	200x200x40	0.40	3
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PANEL REF	PANEL SPEC	PANEL HEIGHT (m)	PANEL WIDTH (m)	TOTAL No.
A	KX060V3	0.6	4.55	56
B	KX050V3	0.6	2.75	3
C	KX060V3	0.6	2.45	0



NO.	REVISION	DATE	BY	REASON
001	ISSUED	03/10/24	CO2	ISSUED AS PER DRAWING
002	ISSUED	03/10/24	CO2	AS PER PDP OPERATIONS & ISSUED FOR CONSTRUCTION
003	ISSUED	03/10/24	CO2	ISSUED FOR WORKING
004	ISSUED	03/10/24	CO2	ISSUED

AARSLEFF GROUND ENGINEERING  
 400/111 LANE, BUNDELA  
 MERRIMAN, VIC 3045  
 T: 03 9387 1111  
 F: 03 9387 1111  
 E: aarsleff@aarsleff.com.au  
 W: www.aarsleff.com.au

Client	BELLWAY HOMES LIMITED
Project	ROCK HILL, BROMSGROVE
Working Title	KING POST WALL GA & ELEVATION SHEET 4 OF 4
Project Origin	PROJECT ORIGIN VOL. LEVEL TYPE ROLE NUMBER
2015804 - AGE - ZZ - XX - DR - X - 0006	
Scale: 1:50 @ A1	Check: OCTOBER 2024 By: CO2 CDR MVE
Issue:	Revision: 002
A1 - APPROVED	

KEY	
---	FINISHED FORMATION LEVEL (PFL)
---	RETAINED GROUND LEVEL (RGL)
---	PILING PLATFORM LEVEL
---	TOP OF WALL
---	TOP OF CONCRETE LEVEL
---	MINIMUM EMBEDMENT LEVEL

# Photos Rock Hill / Fox Lane: extent of works 11/03/2025



Page 56



Extracts google streetview



Agenda Item 5



# Toucan crossing

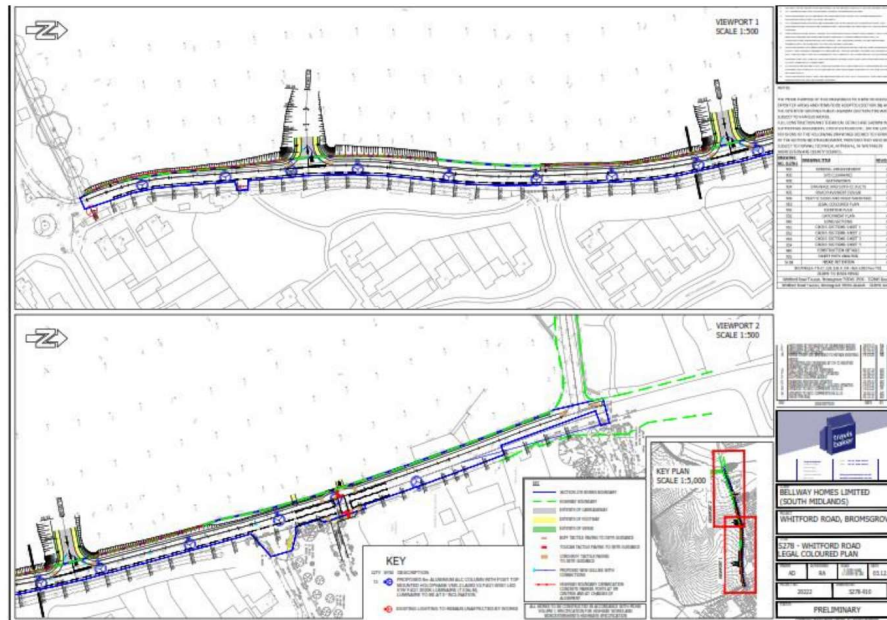
## Plan for Whitford Road, Bromsgrove

### Map and plan of the area

Map of Whitford Road, Bromsgrove and the proposed Toucan Crossing to be installed.

### Description of the map

The map shows the proposed **Toucan Crossing** positioned on **Whitford Road, Bromsgrove:** -  
at a point 34 metres north of the junction with the Deansway and 115 metres south of the junction with Timberhonger Lane.



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Name of Applicant	Proposal	Expiry Date	Plan Ref.
Aldi Store Ltd	Removal of condition 8 attached to 09/0729  Aldi, Sherwood Road, Bromsgrove, Worcestershire, B60 3AR		24/00887/S73

## RECOMMENDATION:

- (1) **MINDED** to **GRANT** permission to remove condition 8 of planning application reference 09/0729
- (2) That **DELEGATED POWERS** be granted to the Assistant Director for Planning, Leisure and Cultural Services to:
  - (a) Determine the application following the receipt of a Deed of Variation in respect to the removal of this condition
  - (b) To agree the final scope and detailed wording of the other conditions attached to the original planning permission.

## Consultations

### **Worcestershire Highways - Bromsgrove**

No objection

### **Bromsgrove Strategic Planning and Conservation**

No comments

### **Economic Development and Regeneration**

No comments

## **Publicity**

24 neighbour letters sent 14 October 2024 (expire 7 November 2024)

Site notices displayed 21 October 2024 (expires 14 November 2024)

Press notice published 18 October 2024 (expires 4 November 2024)

No representations submitted during the public consultation period.

## **Site Description**

The application site relates to an existing supermarket on the former BGW Business Park at the western end of the Aston Fields Industrial Estate. The site is located to the east of the roundabout junction of the A38 (Stoke Road/Bromsgrove Eastern Bypass), Austin Road and Buntsford Park Road. A large WM Morrisons supermarket is located to the south-west, on the opposite side of Buntsford Park Road, and the Charford residential area lies to the north west of the A38. The site is immediately bounded to the east by the Sugar Brook, with industrial buildings beyond.

## Proposal Description

Permission is sought to delete the following condition:

- 8) The total net retail floor space of the retail store hereby approved shall not exceed 995 square metres

Reason: In order to define the permission and in order to minimise the potential for future harm to the vitality and viability of existing retail centres within the District, in accordance with policy PA13 of the West Midlands Regional Spatial Strategy, Worcestershire Structure Plan policies D.31, D.32 and D.33 and Bromsgrove Local Plan policies DS3, S20, and S21, and the provisions of PPS4.

## Relevant Policies

### **Bromsgrove District Plan**

BDP1 Sustainable Development Principles  
 BDP13 New Employment Development  
 BDP14 Designated Employment  
 BDP19 High Quality Design  
 BDP21 Natural Environment  
 BDP23 Water Management  
 BDP24 Green Infrastructure

### **Others**

Bromsgrove High Quality Design SPD  
 National Planning Policy Framework (2024)  
 National Planning Practice Guidance  
 National Design Guide

## Relevant Planning History

22/00571/FUL	Proposed extension comprising approximately 280sqm of additional retail floor space and reconfigured warehouse and welfare block layout.	Pending	
16/0687	Variation of condition 5 of application 09/0729 to: "The retail store hereby permitted shall not be open to customers outside the following hours: 08:00-22:00 Monday to Saturday, and 10:00-16:00 on Sundays"	Approved	06.10.2016
13/0769	Variation of Condition 5 attached to 09/0729 to: The retail store hereby permitted shall not be open to customers outside the following hours: 08.00 - 22.00 Monday - Saturday and 10.00 - 16.00 Sundays and Bank Holidays	Approved	19.12.2013

12/0253	Variation of Condition 5 attached to 09/0729 to allow store to open until 21.00 hours Monday to Saturday	Approved	01.06.2012
09/0729	Demolition of existing industrial building and erection of new single storey class A1, food retail store incorporating car-parking and landscaping.	Approved	27.04.2010

## **Assessment of Proposal**

The applicant has submitted a planning application Ref: 22/00571/FUL for a proposed extension of the store. This application is pending and on the same Committee Agenda.

The applicant has submitted supporting information stating the extension will increase the retail floor area and size of warehouse.

To enable the implementation of the extension, there is a requirement for Condition 8 of the original planning consent (Ref: 09/0729) to be removed.

Condition 8 of planning application Ref: 09/0729 is as follows:

- 8) The total net retail floor space of the retail store hereby approved shall not exceed 995 square metres

Reason: In order to define the permission and in order to minimise the potential for future harm to the vitality and viability of existing retail centres within the District, in accordance with policy PA13 of the West Midlands Regional Spatial Strategy, Worcestershire Structure Plan policies D.31, D.32 and D.33 and Bromsgrove Local Plan policies DS3, S20, and S21, and the provisions of PPS4.

Planning application 22/00571/FUL proposes an extension that will result in the net retail floorspace exceeding 995 square metres.

On the basis that the merits of planning application 22/00571/FUL are considered favourably, condition 8 will no longer be relevant and as such should be removed accordingly to enable development. This Section 73 application seeks removal of that condition.

There are no objections raised from consultees and no representations submitted during the public consultation period. It is considered that the removal of the condition is unlikely to harm the vitality and viability of Bromsgrove Town Centre and existing retail centres within the District. Proposals to extend the premises will require planning permission and matters regarding vitality and viability will be assessed as part of any such application. However, a Section 106 Agreement applied to the original application 09/0729, therefore, a Deed of Variation will be required for this revision.

## **RECOMMENDATION:**

- (1) **MINDED to GRANT** permission to remove condition 8 of planning application reference 09/0729
- (2) That **DELEGATED POWERS** be granted to the Assistant Director for Planning, Leisure and Cultural Services to:
  - (a) Determine the application following the receipt of a Deed of Variation in respect to the removal of this condition
  - (b) To agree the final scope and detailed wording of the other conditions attached to the original planning permission.

**Case Officer:** Sharron Williams Tel: 01527 534061 Ext 3372  
Email: sharron.williams@bromsgroveandredditch.gov.uk

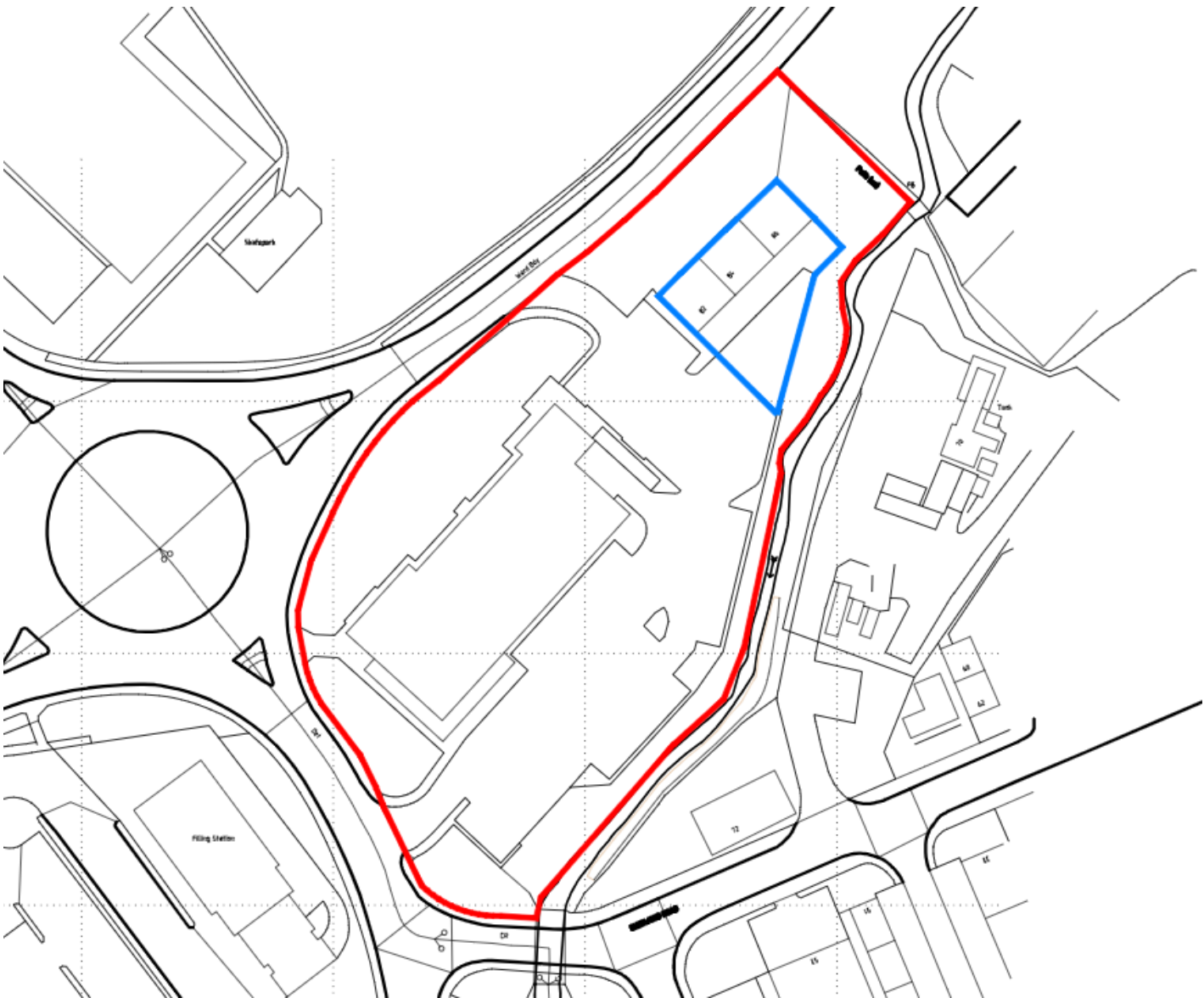
# 24/00887/S73

Aldi, Sherwood Road, Bromsgrove

Removal of condition 8 attached to 09/0729.

## RECOMMENDATION:

- (1) MINDED to GRANT permission to remove condition 8 of planning application reference 09/0729
- (2) That DELEGATED POWERS be granted to the Assistant Director for Planning, Leisure and Cultural Services to:
  - (a) Determine the application following the receipt of a Deed of Variation in respect to the removal of this condition
  - (b) To agree the final scope and detailed wording of the other conditions attached to the original planning permission.



# Site Location Plan



Name of Applicant	Proposal	Expiry Date	Plan Ref.
Mr. Rob McLaren	Proposed stand to cover existing terrace Victoria Ground, Birmingham Road, Bromsgrove, Worcestershire, B61 0DR	19.05.2025	25/00126/FUL

**This application is being reported to Planning Committee because it is located on District Council owned land.**

**RECOMMENDATION:** That planning permission be **GRANTED**

### **Consultations**

#### **Sport England**

- Having assessed the application, Sport England is satisfied that the proposed development meets exception 2 of our playing fields policy, in that: 'The proposed development is for ancillary facilities supporting the principal use of the site as a playing field, and does not affect the quantity or quality of playing pitches or otherwise adversely affect their use.'
- Given the above, Sport England raises no objection to the application because it is considered to accord with exception 2 of our Playing Fields Policy and paragraph 104 of the NPPF.

#### **Leisure - Open Space/Parks**

View awaited

#### **Conservation Officer**

- I have reviewed the planning application and would not consider it to be harmful to the setting of the nearby heritage assets, so have no conservation comments to add.

#### **Public Consultation**

51 letters sent 25.02.2025 (expire 21.03.2025)

Site notice displayed 25.02.2025 (expires 21.03.2025)

Press notice published 28.02.2025 (expires 17.03.2025)

#### **Representations**

No representations have been received to date.

### **Relevant Policies**

#### **Bromsgrove District Plan**

BDP1 Sustainable Development Principles

BDP12 Sustainable Communities

BDP17 Town Centre Regeneration

BDP19 High Quality Design

BDP20 Managing the Historic Environment

BDP21 Natural Environment

BDP25 Health and Well Being

## **Others**

National Design Guide  
National Planning Policy Framework (2024)  
National Planning Practice Guidance

## **Relevant Planning History**

19/00395/FUL	Proposed stand to cover existing terrace	Approved	04.06.2019
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## **Assessment of Proposal**

### **Site Description**

The Victoria football ground is located on the north-western side of Birmingham Road in Bromsgrove. It is bounded by Aldi supermarket to the southwest, residential housing to the northwest and northeast along Stourbridge Road and Victoria Road, and a mix of residential and commercial buildings to the southeast along Birmingham Road.

The site is situated within the urban area of Bromsgrove in an area designated as Town Centre Zone in the Bromsgrove District Plan and is within the setting of several Grade II listed buildings and the Bromsgrove Town Centre Conservation Area.

### **Proposal**

The application is for the erection of a metal stand to cover the existing terrace seating at the southern end of the ground to provide a covered standing area for spectators

The proposal is identical to the one that was approved by Planning Committee on 3 June 2019 under Planning Application 19/00395/FUL. This planning permission was not implemented and has now lapsed.

The proposed stand is required to improve the existing facilities and safety at the ground along with helping to better screen noise and light from neighbouring properties and prevent wayward footballs from entering the Aldi supermarket car park. The proposed stand would not increase the capacity of the ground. The proposal does also include the planting of trees to the southern side of the stand adjacent to the boundary with Aldi Supermarket. No specific details of the types of planting or their sizes have been provided to date.

### **Historic Environment and character and appearance of area**

The existing concrete terrace which extends across the width of the football pitch has a rear 2.35 metres concrete wall, which is visible from Birmingham Road and the Aldi supermarket car park. Currently to the south of the existing terrace is a small area of scrub land which separates the terrace from the Aldi supermarket car park. The proposed stand would cover the full width and length of the existing terrace, with an overall height (taken from the scrub land to the rear of the terrace) of 4.9 metres. The stand would be formed of a metal frame with a metal clad roof and part clad rear wall. The cladding on the rear of the proposed stand would extend down over the existing concrete wall and would be green in colour.

The proposed stand would therefore be a large structure which would be visible from the Birmingham Road across the existing Aldi supermarket car park.

The visual impact of the stand, as viewed from the south, would however be softened by an area of tree planting in the existing scrub area and it is also noted that the increased enclosure of the site will help to contain light from the floodlights within the ground and noise levels.

The Councils Conservation Officer has reviewed the above planning application and do not consider it would be harmful to the setting of the nearby heritage assets.

## **Amenity**

Due to the sitting and design of the proposed stand, it is not considered that it would adversely affect the amenities of the occupiers of the neighbouring residential properties. It is noted that no representations had been received at the time of writing this report.

## **Conclusion**

It is considered that the proposal accords with the policies in the Bromsgrove District Plan and the NPPF and is therefore acceptable.

**RECOMMENDATION:** That planning permission be **GRANTED**

## **Conditions:**

1. The development to which this permission relates must be begun not later than the expiration of three years beginning with the date of the grant of this permission.

Reason: In accordance with the requirements of Section 91(1) of the Town and Country Planning Act 1990 as amended by Section 51 of the Planning and Compulsory Purchase Act 2004.

2. The development hereby approved shall be carried out in accordance with the following plans and drawings:

Drawing No. 641-01 Rev. A Existing and Proposed Plans of New Stand  
Drawing No. 641-02 rev. A Existing and Proposed 3D views of New Stand

Reason: To provide certainty to the extent of the development hereby approved in the interests of proper planning.

3. The proposed stand shall be clad in Green Juniper Plastic 0.7mm external cladding of 'corrugated' appearance.

Reason: To protect the amenity of the area.

4. Prior the first use of the development hereby approved details of a landscaping scheme, including a planting schedule, showing details of the new landscape planting (including species, plant sizes, numbers and densities) shall be submitted to and approved in writing by the Local Planning Authority.

Such approved planting shall be completed prior to the first use of the development hereby approved or such other time as is agreed as part of the details to be submitted.

All such planting shall be maintained to encourage its establishment for a minimum of five years following contractual practical completion of the development. Any trees or significant areas of planting which are removed, die or become, in the opinion of the Local Planning Authority, seriously damaged or defective within this period, shall be replaced as soon as is reasonably practicable with others of species, size and number as originally approved, unless the Local Planning Authority gives its written consent to any variation.

Reason: In order to secure a well-planned development.

**Case Officer:** Claire Gilbert Tel: 01527 881655  
Email: [claire.gilbert@bromsgroveandredditch.gov.uk](mailto:claire.gilbert@bromsgroveandredditch.gov.uk)

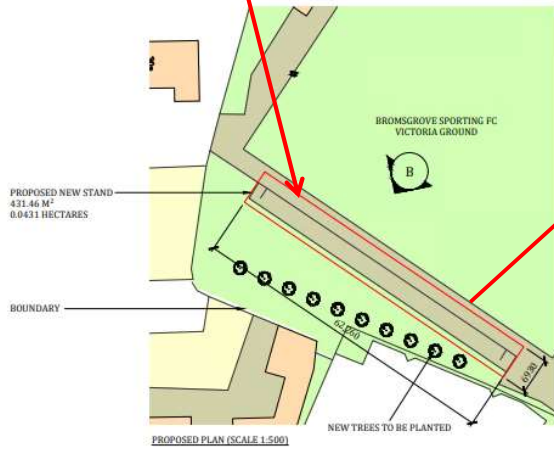
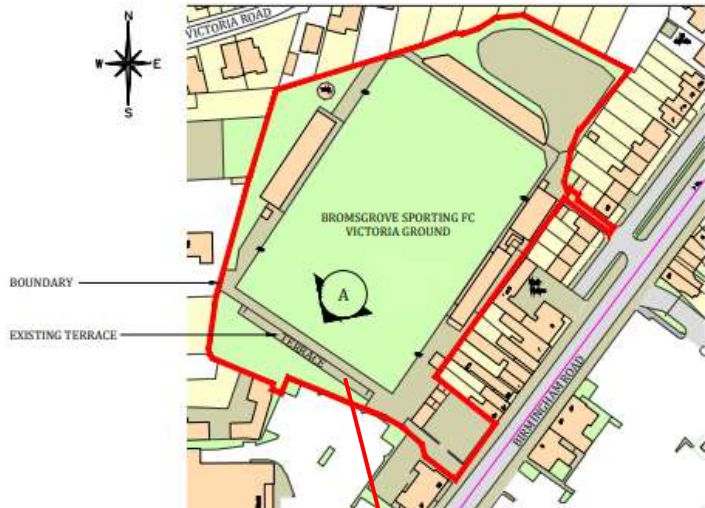
25/00126/FUL

Victoria Ground, Birmingham Road,  
Bromsgrove,  
Worcestershire, B61 0DR

Proposed stand to cover existing terrace

Recommendation: Grant

# Location

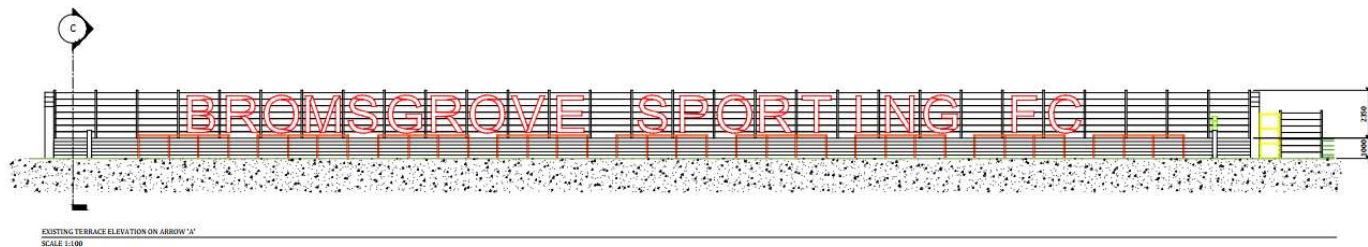


Aerial photo from google

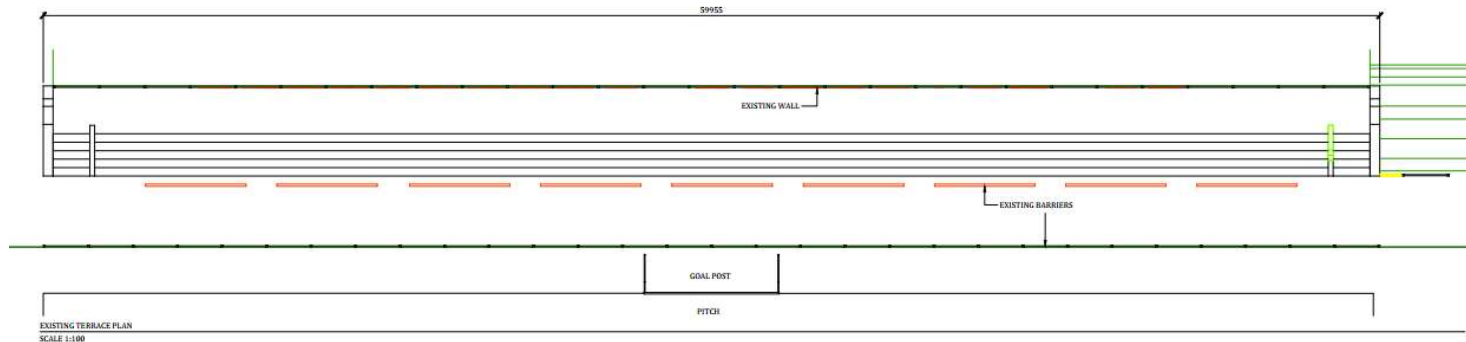


Photo from entrance of Aldi Carpark looking north towards Victoria Ground from google

# Existing Plans and photos

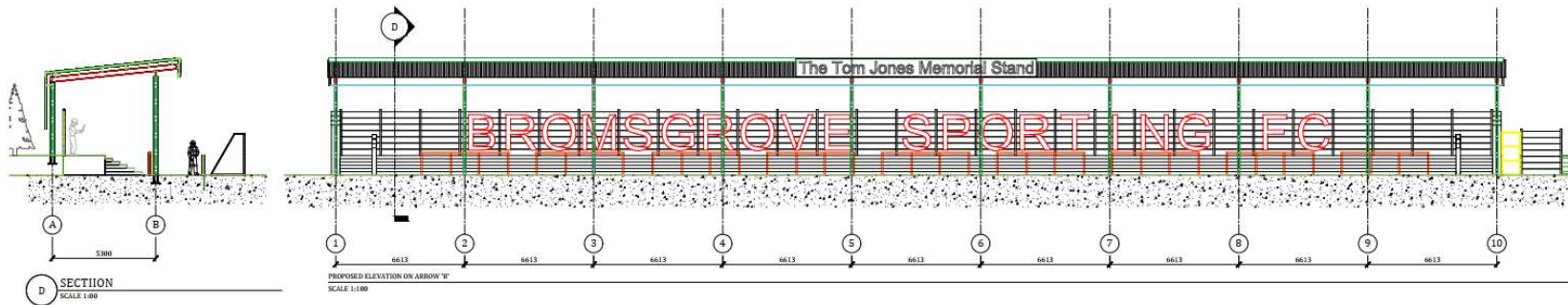
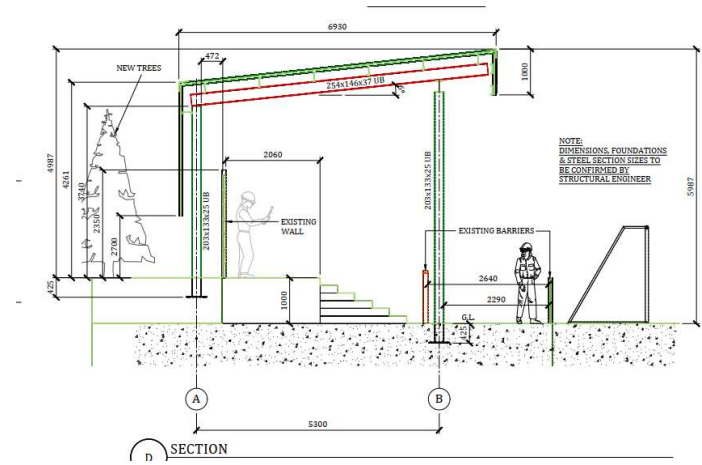
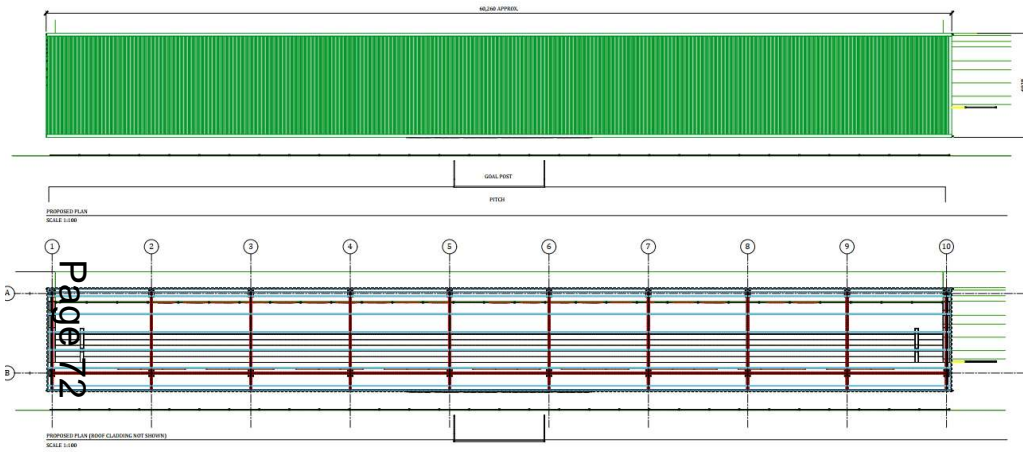


(photos taken from the 2019 planning application)



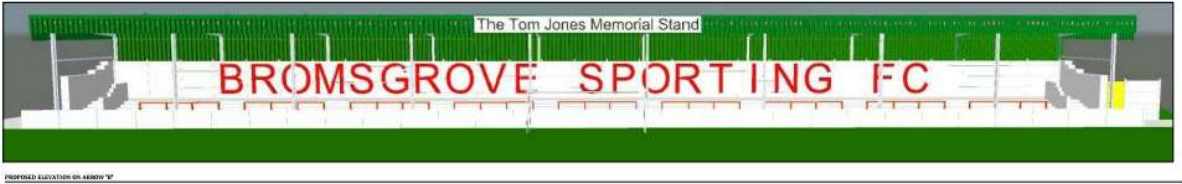
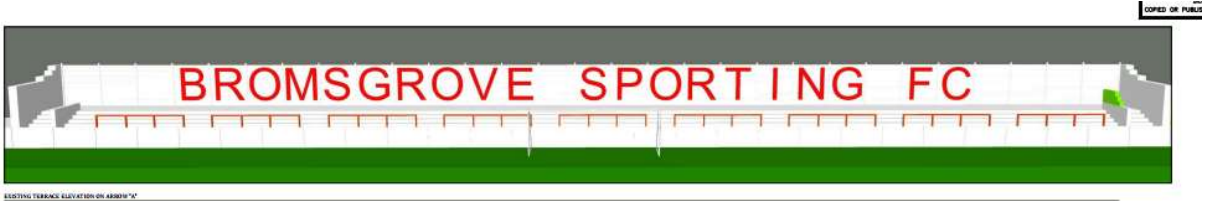


# Proposed Plans





# Images of Existing and Proposed Stand



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